

4.8 ESTABLISHED BUILDING LINE

a) Notwithstanding any other provision hereof to the contrary, where:

i) a vacant interior lot exists between legal existing buildings on the same side of a street; and

ii) where none of the three lots exceed 30.0 metres in lot frontage,

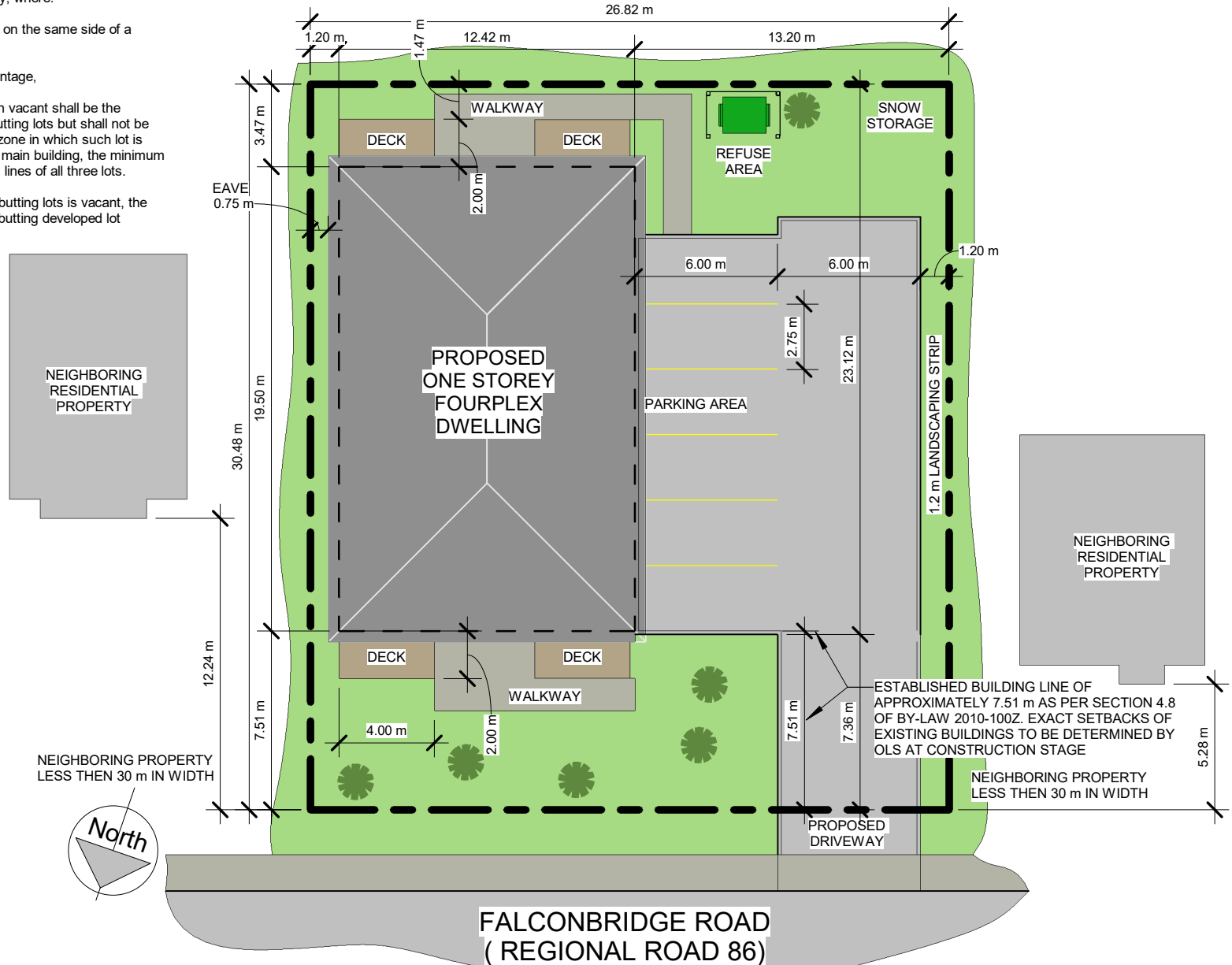
the minimum front yard required on the said interior lot when vacant shall be the average of the established building lines on the said two abutting lots but shall not be greater than the minimum front yard depth required for the zone in which such lot is located, and, where the said interior lot contains an existing main building, the minimum front yard required shall be the average established building lines of all three lots.

b) Notwithstanding the above paragraph, if one of the two abutting lots is vacant, the established building line will be established using the next abutting developed lot provided it is located within 30.0 metres of the subject lot.

SITE DATA:

ADDRESS: 3500 FALCONBRIDGE ROAD (REGIONAL ROAD 86)
 LOT AREA: 817.54 m²
 BUILDING AREA: 242.24 m²
 LOT COVERAGE: 29.6 %
 GROSS FLOOR AREA: 484.48 m²
 PERCENTAGE OF LOT AREA: 59.2 %
 TOTAL LANDSCAPE AREA: 391.9 m²
 FRONT YARD AREA: 220.74 m²

FRONT YARD LANDSCAPE AREA: 175.68 m²
 PERCENTAGE OF FRONT YARD: 79.4 %
 FRONT YARD SETBACK: 7.51 m
 SIDE YARD SETBACK: EAST 1.22 m WEST 13.20 m
 REAR YARD SETBACK: 3.47 m
 PARKING SPACES REQUIRED: 6 SPACES
 PARKING SPACES PROVIDED: 6 SPACES



SITE PLAN
 1:250