

GREATER SUDBURY CAPITAL REDEVELOPMENT

1310 SPARKS STREET

SUDBURY, ON



PROPOSED BUILDING - SOUTH EAST CORNER PERSPECTIVE VIEW FROM SPARKS STREET
THREE STOREY 14 UNIT SENIORS HOUSING

PRIME ARCHITECT	ASSOCIATE ARCHITECT	STRUCTURAL ENGINEER	MECHANICAL & ELECTRICAL ENGINEER	CIVIL ENGINEER
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ARCHITECTURAL LIST	
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3064

The General Contractor shall check and verify all dimensions and report all errors and omissions. Do not scale drawings. These documents shall only be used for the purpose indicated below, when as noted and initiated by the Architect.

Certificate of Practice No.: 1796
Architect's BCIN:

SPA

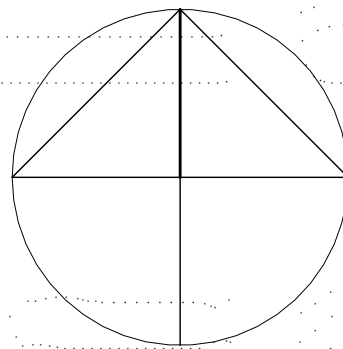
Permit

Tender

Contract

Construction

No.	Description	Chk'd	Date
1	Issued for Re-zoning	KMA	June 26, 2021



Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

Scale: 1 : 1
Date Plotted: 6/24/2021 10:59:20 AM
Drawn: AJP
Checked: Checker

Project No.: 21-014
Drawing No.: Project Title Sheet

A000

ABBREVIATIONS

A		C		E		H		M		Q		T	
AB	aluminum base	C	centre	EA	each	HB	hose bib	m	metre	QT	quarry tile	TA	table top
ABM	air barrier membrane	C-Top	countertop	ED	exit device	HCWD	hollow core wood	MACH	machine	QTR	quarter	T&B	top and bottom
ABV	above	OAB	cabinet	EF	each face	HD	hard dryer	MAG	magnetic lock	QUAL	quality	T&G	top and groove
AC	accessories	CC	caliper	EG	each grain	HDF	high density filing	MAINT	maintenance	QTY	quantity	T&L	top and level
ACC	access	CANT	cantilever	EHS	exterior insulation and finish system	HDRL	hardwood	MAN	manual	R	riser	T&O	top and over
ACF	architectural concrete finish	CB	catch basin	EK	electronic keypad	HDWR	hardware	MAT	material	R	riser	TC	top of curb
ACU	acoustic ceiling panel	CC	concealed closer	EL	elevation	HEF	horizontal each face	MAX	maximum	RA	return air	TD	trench drain
ACOUST	acoustical	C/C	centre to centre	ELEC	electrical	HM	hollow metal	MCC	motorized control centre	RAD	radius	TDR	towel dispenser and receptacle
ACR	acrylic	CEM	cement	ELEV	elevator	HM INS	hollow metal insulated	MD	motorized damper	RB	resilient base	TEL	telephone
ACT	acoustic ceiling tile	CF	clear anodized finish	EMERG	emergency	H/O	hold open	MECH	mechanical	RBC	resilient base covered	TEMP	temporary
AD	area drain	CD	corner guard	ENAM	enamel	HOF	horizontal outside face	MD	medium	RC	reinforced concrete	TERH	terrazzo
ADD	addendum	CH	coat hook	ENCL	enclosed	HPL	high pressure laminate	MEMB	membrane	ROIC	removed by contractor installed by contractor	TERM	terminal
ADH	adhesive	CHR	chair	EP	epoxy	HR	hour	MET	metal	ROIC	removed by contractor installed by owner	THK	thick
ADJ	adjustable	CI	cast iron	EQ	equal	HSS	hollow structural section	MEZZ	mezzanine	RCP	reflected ceiling plan	THR	threshold
ADO	automatic door operator	CJ	control joint	EQUIP	equipment	HT	height	MFD	manufactured	RD	rod drain	TL	twist lock
AES	above existing slab	CL	centre line	ER	existing to be relocated	HTR	heater	MFR	manufactured	REC	recessed	TLL	top of lower layer
AFF	above finished floor	CL	clear	HVAC	heating ventilation and air conditioning	ME	make good to match existing	RECIP	receptacle	TME	to match existing	TME	to match existing
AGG	aggregate	CLAN	clear anodized	EWG	electrical water cooler	MHT	mounting height	REF	reference	T/O	top of	T/O	top of
AHU	air handling unit	CLG	clear laminated glass	EX	existing	L	included in contract	REIN	reinforced	TCC	top of concrete	TCC	top of concrete
AL	aluminum	CLR	clear	EXH	exhaust	IC	included in contract	REL	relocate	TOES	top of existing slab	TOES	top of existing slab
ALC	alcove	CLOS	closet	EX JT	expansion joint	ID	inside dimension or inside diameter	MIR	mirror	REGO	required	TOS	top of slab
ALT	alternate	cm	centimetre	EXT	exterior insulation and finish system	in	inch	REV	revised, revision	TP	toilet partition	TP	toilet partition
AMT	amount	CMU	concrete masonry unit	EXP	exposed	INC	increase	MO	masonry opening	RF	resilient flooring	TRANS	transformer
AND	and/or	CS	clean out	IS	inside	INCL	include	MP	metal	RFG	rigid fiberglass	TRR	temperature rise rating
AP	access panel	COL	column	F T O F	face to face	INFO	information	MRT	marble tile	RH	right hand	TSTAT	thermostat
APPROX	approximate	CON	concrete	FA	fire alarm	INSP	inspect	MRT	mosaic tile	RHR	right-hand reverse	TTD	toilet tissue dispenser
AR	abuse resistant	COND	conduit	FAB	fabricate	INSUL	insulation	MTA	meeting table	RM	room	TUL	top of upper layer
ARCH	architectural	CONN	connection	FATB	from above to below	INT	interior	MTD	mounted	ROU	rough opening	TYP	typical
AS	acoustic sealant	CONST	construction	FB	fabric	INV	invert	MTG	meeting	ROIC	removed by owner installed by contractor	U	undercut
ASB	asbestos	CONT	continuous	FBTA	from below to above	IS	inside	MJA	make up air	ROIC	removed by owner installed by owner	U/C	undercut
ASPH	asphalt	CONV	connector	IC	into	IS	inside	N	not	ROW	right of way	UF	unfinished
ASSOC	association	CPT	carpet	FD	floor drain	JB	junction box	N/A	not applicable	RP	rein panel	UH	unit heater
AT	acoustic tile	CPPT	carpet tile	FDN	foundation	JCT	junction	NB	note bene	RPM	revolutions per minute	U.N.O.	unless otherwise noted
AVB	air/vapour barrier	CR	card reader	FE	fire extinguisher	JF	joint filler	NFHB	non freeze hose bib	RS	room scheduler	UP	unpainted
AVC	AV control pad	CRC	cold rolled channel	FEC	fire extinguisher cabinet	JS	jointer shelves	NP	not in contract	RSF	resilient sheet flooring	US	under-side
AVG	average	CRD	credenza	FF	factory finish	JST	joint	NO	number	RTU	rubber tread	V	vertical
AWP	acoustic wall panel	CRS	curious	FEE	finished floor elevation	JT	joint	NOB	nominal	RTU	roof top unit	VAR	varnish
B	bottom	CS	close	FFAE	furniture, furnishings and equipment	IS	inside	NS	near side	RUB	rubber	VB	vapour barrier
B TO B	back to back	CSK	countersunk	FH	full height	KD	knockdown	NTS	not to scale	RWL	rainwater leader	VBC	vinyl base covered
BBD	black board	CT	ceramic tile	FHC	fire hose cabinet	KG	kilogram	O	overall	RWS	roller window shade	VBS	vinyl base straight
BBH	baseboard heater	CTD	towel dispenser/waste receptacle	FN	finish	KIT	kitchen	OC	on centre	S	sanitary	VCT	vinyl composite tile
BC	black chrome	CTE	connect to existing	FL	floor	KM	kilometre	OA	on outside	SAN	sanitary	VERT	vertical
BET	between	CTG	clear tempered glass	FLUOR	fluorescent	KO	knockout	OD	outside dimension/diameter	SB	sandblasted	VEST	vestibule
BF	brushed finish	CNT	control	FND	finished floor elevation	KP	knockout	OS	original equipment manufacturer	SBO	supplied by owner	VOL	volume
BH	bore hole	CW	complete with	FDC	face of concrete	KPD	keypad	OFF	office	SC	section	VOL	volume
BIT	bituminous	CW	curtainwall	FP	fireproof	L	liter or length	OH	overhead	SCIC	supplied by contractor installed by contractor	VOS	verify on site
BK	bookcase	CWP	crystalline waterproofing	FR	door frame	FR	door frame	OH	overhead concealed	SCIO	supplied by contractor installed by owner	VR	vapour retarder
BKHD	bulkhead	CYL	cylinder	FRR	fire resistance rating	FRR	fire resistance rating	OPNG	opening	SCWD	solid core wood	VSF	vinyl sheet flooring
BLDG	building	D	dead bolt	FRTR	fire retardant treated	FRTR	fire retardant treated	OPP	opposite	SD	soap dispenser	VWC	vinyl wall covering
BLK	black	DB	dead bolt	FS	fire separation	FS	fire separation	OS	outside	SEAL	sealant	VVF	visitor bike parking
BLKG	blotting	DBL	double	IS	inside	LAT	lateral	SECT	section	SECT	section	W	with
BLL	bottom lower layer	DC	door contact	FTG	footing	LAV	lavatory	SEF	seamless epoxy flooring	SEF	seamless epoxy flooring	W	with
BLT-IN	built-in	DCB	double catch basin	FUT	future	LB	lag bolt	P	public address	SFPRG	sprayed fireproofing	WBD	whiteboard
BM	benchmark	DEC	decrease	G	gauge	LB	lag bolt	PA	public address	SIM	sim	WC	water closet
BOC	bottom of curb	DEPT	department	GA	gauge	LED	light emitting diode	PC	precast concrete	SLD	sealed	WD	wood
BOH	back of house	DET	detail	GAL	gallon	LF	light fixture	PCT	porcelain ceramic tile	SM	surface mount	WOB	wood base
BOY	bottom	DFT	drying fountain	GALV	galvanized	LH	left hand	PE	porcelain enamel	SND	sanitary napkin dispenser	WD-PNL	wood panel
BR	brick	DH	door hardware	GB	grab bar	LHR	left hand reverse	PER	porcelain enamel panel	SNR	sanitary napkin receptacle	WDV	wood veneer
BRZ	bronze	DIA	diameter	GC	general contractor	LINO	linoleum	PERM	perimeter	SP	soundproof	WG	wire guard
BSMT	basement	DIAG	diagonal	GEN	general	LL	live load	PERF	perforated	SPEC	specification	WI	within
BU	built-up	DM	dimension	GF	glazing film	LLP	locking ladder pull	PF	pre finished	SQ	square	WM	wire mesh
BUL	bottom upper layer	DIV	division	GI	ground fault interrupted	LLV	long leg vertical	PL	property line	SS	stainless steel	WO	without
BUR	built-up roofing	DL	dead load	GL	galvanized iron	LOC	locate	SSM	solid surface material	ST	stain	WPG	waterproof
		DN	down	GLD	glaze	LP	low point	ST	stain	ST	stain	WPG	waterproof
		DO	door operator	GLZ	glazing film	LPL	ladder pull	PNL	panel	STL	steel	WPM	water proof membrane
		DP	deep	GOVT	government	LQL	laquer	POL	polished	STN	stone	WR	water resistant
		DPR	dampener	GR	grade	LS	loud speaker	P/P	push/pull	STD	standard	WS	water stop
		DR	door	GRAN	granular	LVH	lower handle	PR	pair	STOR	storage	WTS	waterproof traffic surfacing
		DS	door stop	GRD	ground	LW	light weight	PRI	primary	STRUCT	structural	WVNR	wood veneer
		DUC	door undercut	GT	groat	LWB	light weight block	PT	paint	WUP	waterproof	WUP	waterproof
		DWG	drawing	LWC	light weight concrete	PTL	barrier free push to lock	SW	short way	WWF	welded wire fabric	WWF	welded wire fabric
		DWLS	dowels	GWC	graphic wall covering	PTN	partition	SWB	switchboard	Y	yard	Y	yard
		GWG	georgian weed glass	GWG	georgian weed glass	PWR	power	YD	yard	YR	year	YR	year

ANNOTATION SYMBOLS

TAG NAME	TAG
WALL TAG	XXXX
FIRE SEPARATION TAG	XXXX
DOOR TAG	XXXX
SECTION HEAD	XXXX
ROOM TAG	XXXXXXX
LEVEL	XXXXXXX
GRID BUBBLE	XXXXXXX
REVISION TAG	XXXXXXX
REVISION CLOUD	XXXXXXX

SYMBOLS

MECHANICAL DEVICE LEGEND

XXXX	SUPPLY AIR GRILLE
XXXX	RETURN AIR GRILLE
XXXX	SIDE WALL SUPPLY AIR GRILLE
XXXX	THERMOSTAT
XXXX	CO ₂ SENSOR
XXXX	FLOOR DRAIN
XXXX	ROOF DRAIN
XXXX	AREA DRAIN
XXXX	FIRE HOSE CABINET

DOOR DEVICE SYMBOLS

XXXX	PUSH BUTTON TO OPEN DOOR IN
XXXX	PUSH BUTTON TO OPEN DOOR OUT
XXXX	PUSH BUTTON TO LOCK
XXXX	PANIC BUTTON
XXXX	PUSH TO EXIT BUTTON
XXXX	CARD READER
XXXX	KEYPAD

ELECTRICAL & SECURITY DEVICE LEGEND

XXXX	CEILING MOUNTED OCCUPANCY SENSOR
XXXX	CEILING MOUNTED SPEAKER
XXXX	CEILING MOUNTED STROBE LIGHT
XXXX	CEILING MOUNTED COMBINED SPEAKER/STROBE LIGHT
XXXX	CEILING MOUNTED CALL FOR ASSISTANCE
XXXX	CEILING MOUNTED EXIT LIGHT
XXXX	WALL MOUNTED EXIT LIGHT
XXXX	CEILING MOUNTED SMOKE DETECTOR
XXXX	CEILING MOUNTED DAYLIGHT SENSOR
XXXX	ELECTRICAL PANEL
XXXX	SECURITY CAMERA
XXXX	LIGHT SWITCH

Greater Sudbury Capital Redevelopment
1310 Sparks Street, Sudbury, ON

21-014

	Ontario Building Code Data Matrix Parts 3 & 9					OBC Reference			
1	Project Description: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> Change of Use <input type="checkbox"/> Part 11 11.1, 11.4					<input checked="" type="checkbox"/> Part 3 11.1.2(4) & 9.10.1.3	<input type="checkbox"/> Part 9 1.1.2(1) & 9.10.1.3		
2	Major Occupancy: Group A, Division 2 (assembly) and Group C (residential)					11.1.2(1) 9.10.2			
3	Building Area (m ²): Existing: 0 Renovation: 0 Total: 723.80					11.1.2 1.4.1.2(1)			
4	Gross Area (m ²): Existing: 0 New: 410.4					1.4.1.2(1) 1.4.1.2(1)			
5	Number of Storeys: 2 Above Grade: 6 Below Grade: 4					1.4.1.2(1) & 9.10.4			
6	Number of Storeys/Flooring Access: 2					1.4.1.2(1) & 9.10.2			
7	Building Classification: Group A, Division 2 (assembly) and Group C (residential)					1.1.2.2(1) 9.10.2			
8	System/Type Proposed: <input checked="" type="checkbox"/> Entire Building <input type="checkbox"/> In-Line of Roof Rating <input type="checkbox"/> Basement Only <input type="checkbox"/> No Required					1.1.2.2(1) 9.10.2			
9	Standby Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					1.1.2.2(1) 9.10.2			
10	Fire Alarm Required: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					1.1.2.2(1) 9.10.2			
11	Water Supply Service is Adequate: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					1.1.2.2(1) 9.10.2			
12	High Building: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					1.1.2.2(1) (Exception) NA			
13	Permitted Construction: <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non-Combustible <input type="checkbox"/> Both <input type="checkbox"/> Both					1.1.2.2(1) 9.10.4			
14	Occupant Load Based On: <input checked="" type="checkbox"/> Occupancy <input type="checkbox"/> Design of Building <input type="checkbox"/> Permits					1.1.1.1(1) (B) 9.10.4.1			
15	Horizontal Assembly FRR (Hours): <input checked="" type="checkbox"/> 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/> 4 <input type="checkbox"/> 5 <input type="checkbox"/> 6 <input type="checkbox"/> 7 <input type="checkbox"/> 8 <input type="checkbox"/> 9 <input type="checkbox"/> 10 <input type="checkbox"/> 11 <input type="checkbox"/> 12 <input type="checkbox"/> 13 <input type="checkbox"/> 14 <input type="checkbox"/> 15 <input type="checkbox"/> 16 <input type="checkbox"/> 17 <input type="checkbox"/> 18 <input type="checkbox"/> 19 <input type="checkbox"/> 20 <input type="checkbox"/> 21 <input type="checkbox"/> 22 <input type="checkbox"/> 23 <input type="checkbox"/> 24 <input type="checkbox"/> 25 <input type="checkbox"/> 26 <input type="checkbox"/> 27 <input type="checkbox"/> 28 <input type="checkbox"/> 29 <input type="checkbox"/> 30 <input type="checkbox"/> 31 <input type="checkbox"/> 32 <input type="checkbox"/> 33 <input type="checkbox"/> 34 <input 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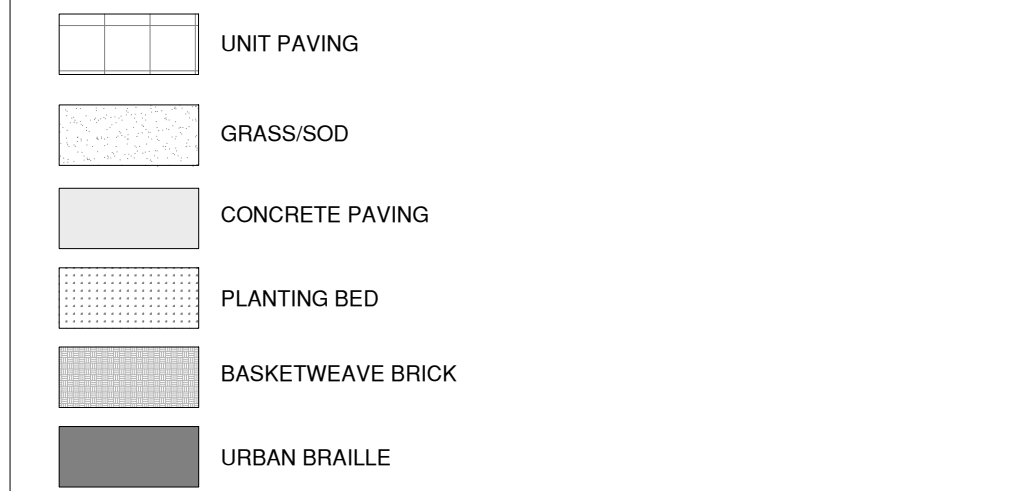
GENERAL NOTES

1. REFER TO LANDSCAPE PACKAGE FOR DETAILS OF HARDSCAPE, SOFTSCAPE, TREE PLANTING & PRESERVATION PLANS
2. REFER TO CIVIL FOR DETAIL OF GRADING, STORMWATER MANAGEMENT & EROSION CONTROL
3. REFER TO SPECIFICATIONS FOR SITE HOARDING REQUIREMENTS. CM TO PROVIDE PLAN.

SITE PLAN - GENERAL NOTES

1 : 100

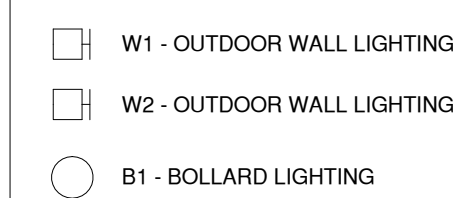
LANDSCAPING LEGEND



SITE PLAN - LANDSCAPING LEGEND

1 : 200

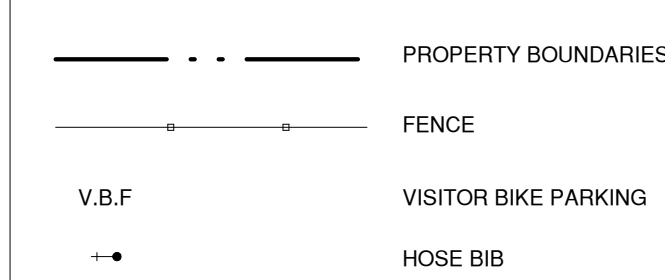
SITE LIGHTING LEGEND



SITE PLAN LIGHTING LEGEND

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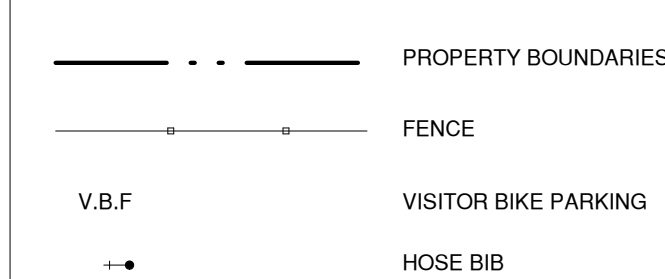
SITE PLAN LINE/ABBREVIATION LEGEND



SITE PLAN LINE TYPE LEGEND

1 : 100

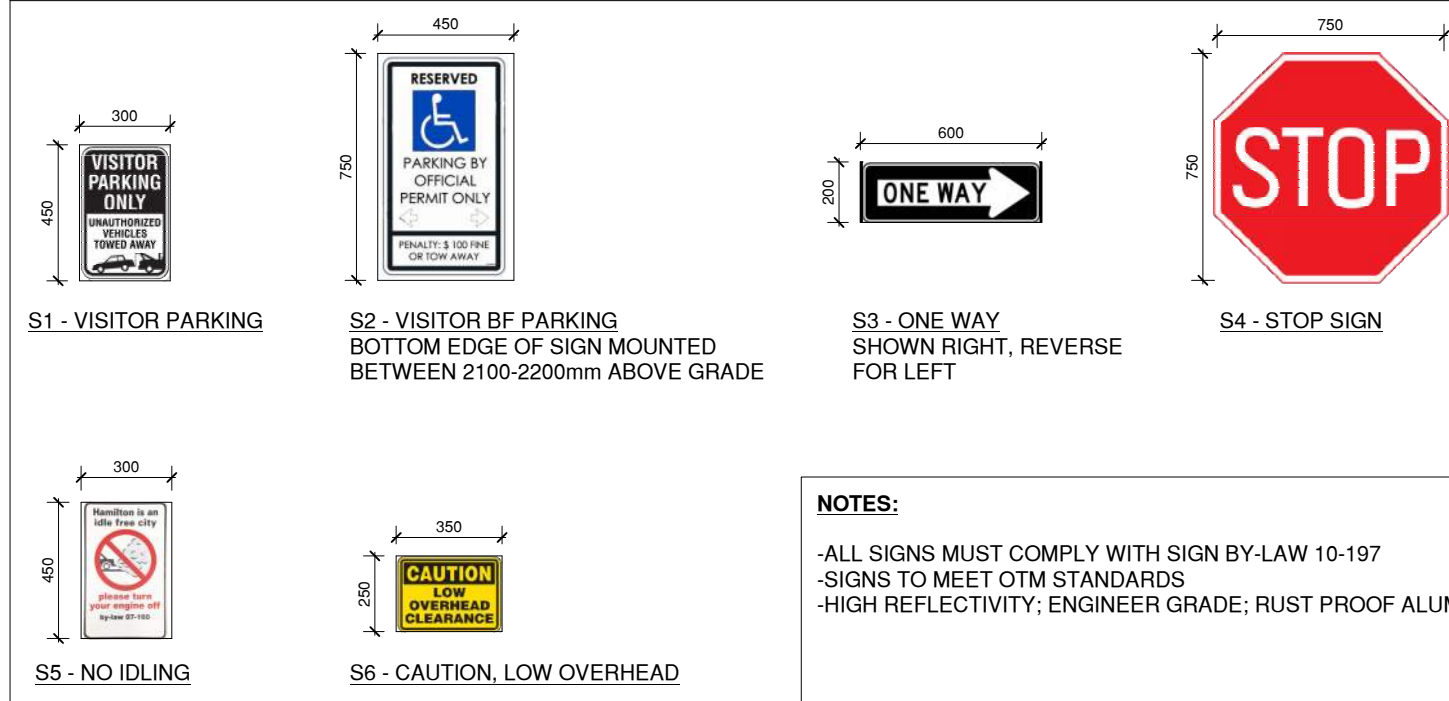
SITE PLAN LINE/ABBREVIATION LEGEND



SITE PLAN LINE/ABBREVIATION LEGEND

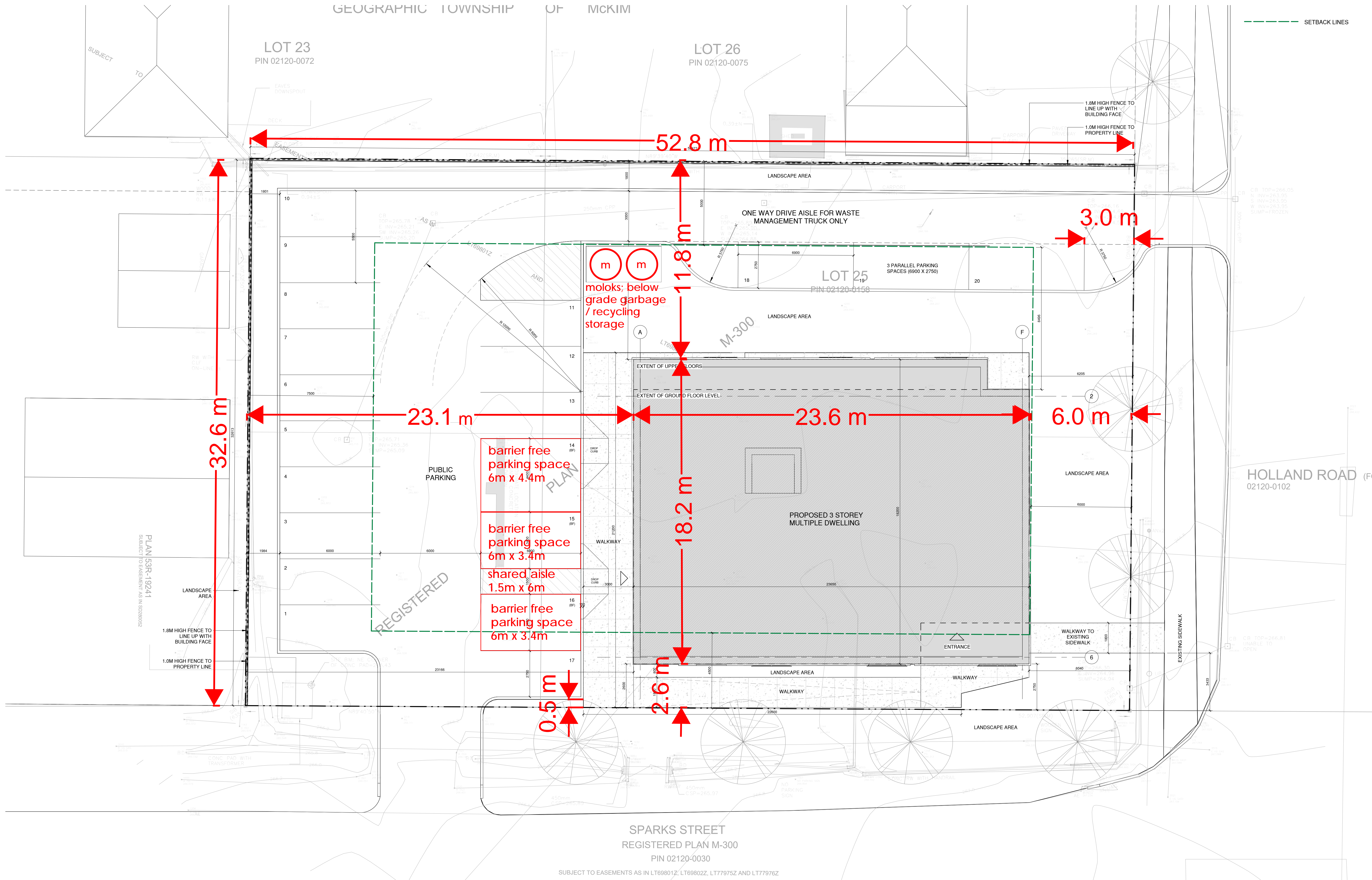
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SITE SIGNAGE LEGEND

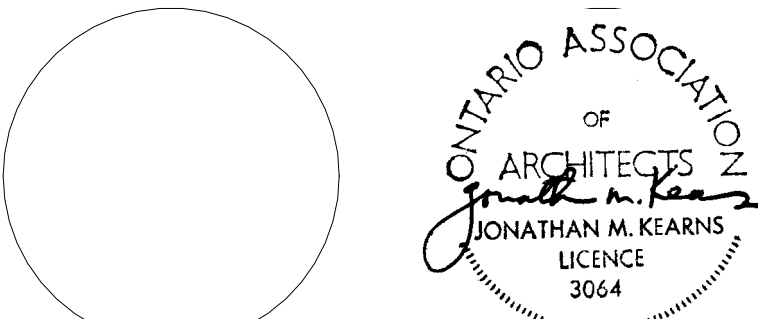


Site Signage Legend

1 : 25



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A003 Site Plan
1 : 100

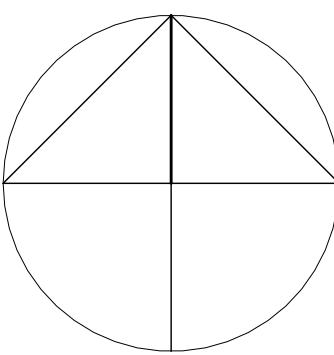


The General Contractor shall check and verify all dimensions and report all errors and omissions. Do not scale drawings. These documents shall only be used for the purpose indicated below, when as noted and initiated by the Architect.

Certificate of Practice No.: 1796
Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
1	Issued for Reopening	KJM	June 28, 2021



Greater Sudbury Capital
Redevelopment

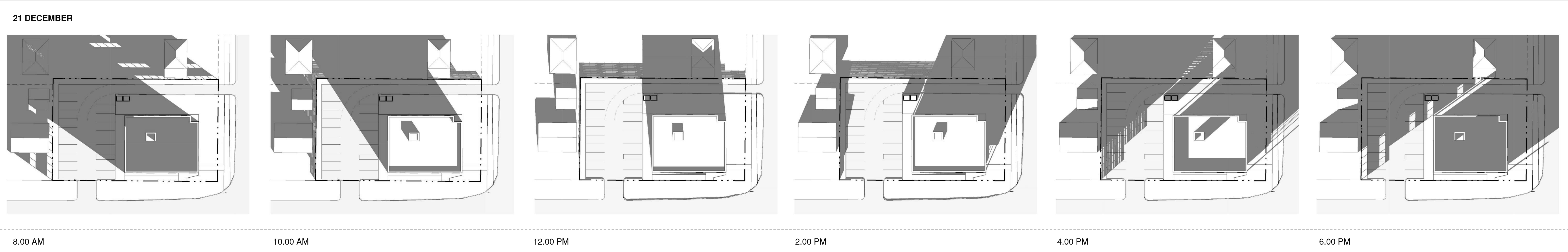
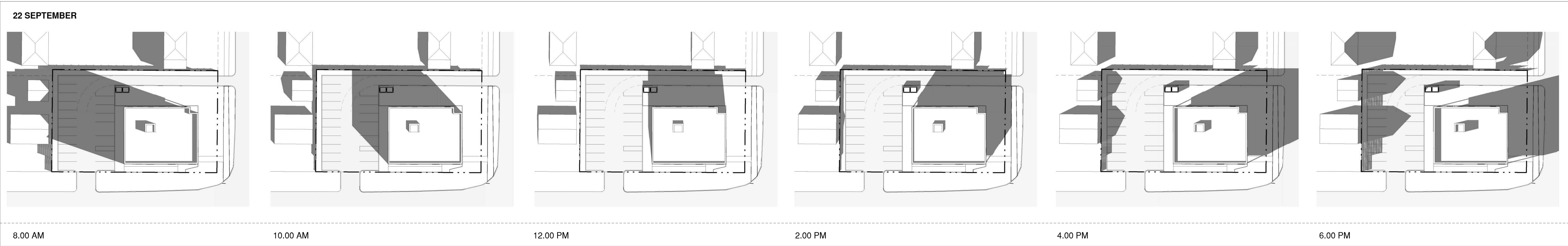
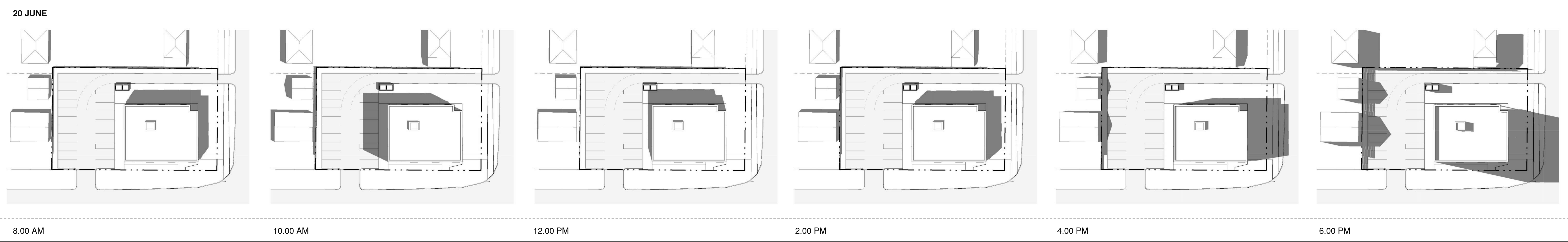
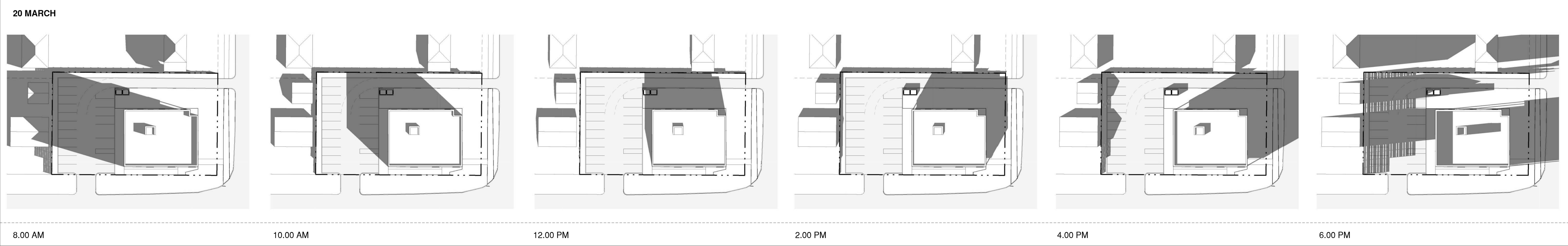
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Sudbury, ON

Scale: As indicated
Date Plotted: 7/20/2021 5:07:38 PM
Drawn: Author
Checked: Checker

Project No.: 21-014
Drawing No.:

Site Plan

A003

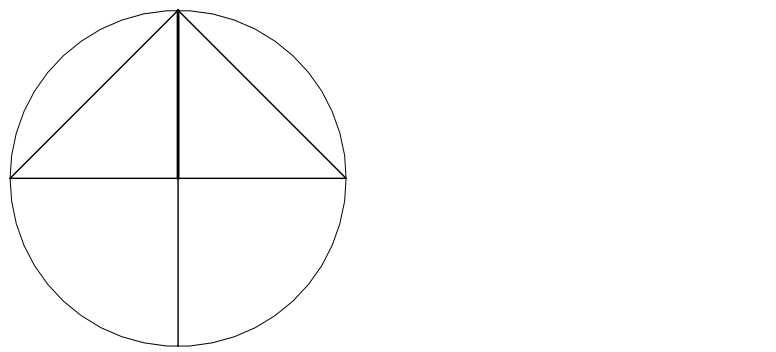


The General Contractor shall check all
errors and omissions. Do not scale drawings. These documents shall only
be used for the purpose indicated below, when as noted and initiated by the
Architect.

Certificate of Practice No.: 1796
Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
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Project

Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

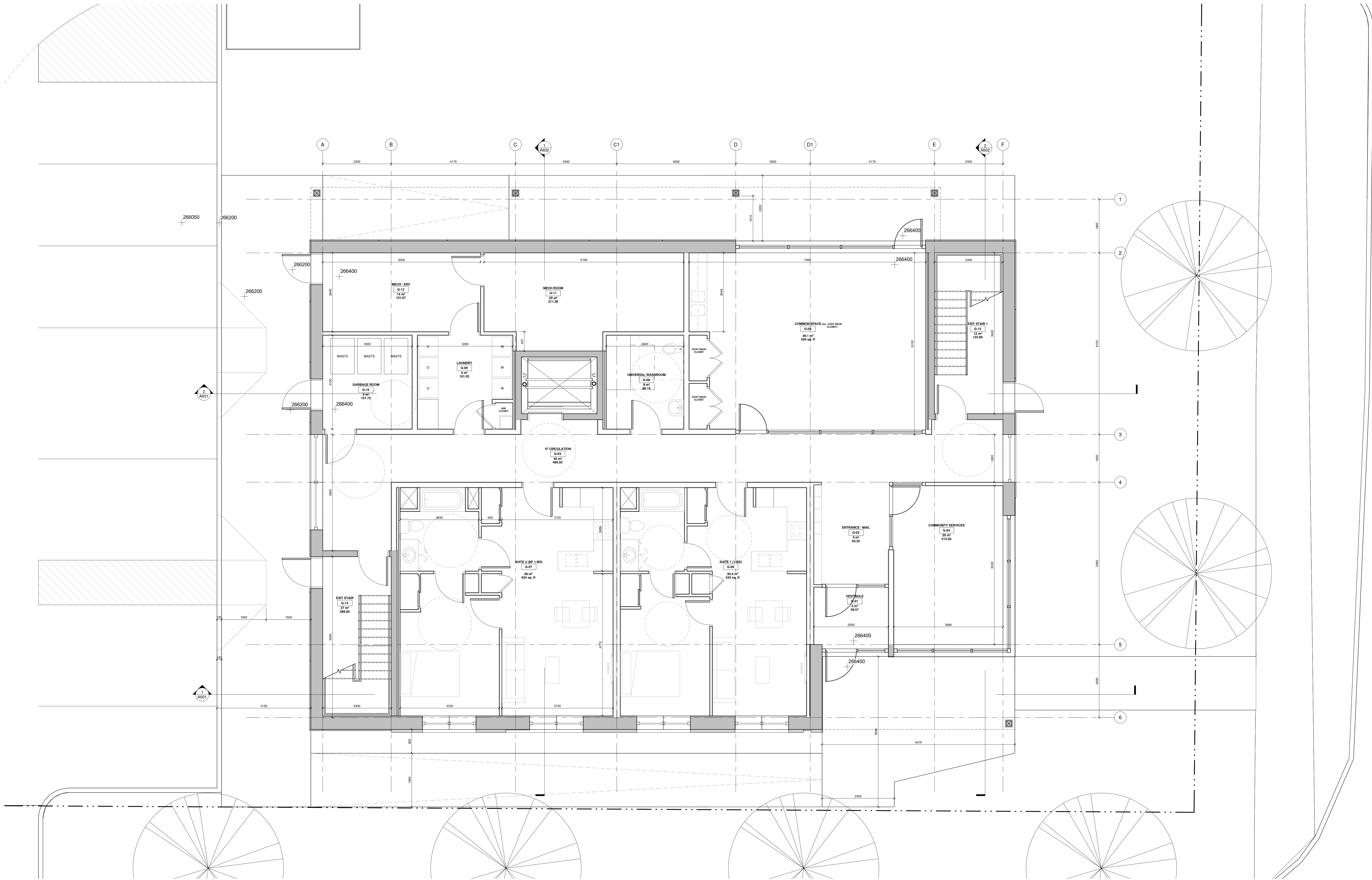
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Drawn	Author
Checked	Checker

Project No. 21-014

Drawing No.

Shadow Study

A010



1 Ground Floor - Partition Plan
A201 1 : 50

GENERAL NOTES TO PARTITIONS:

- Unless otherwise noted, all partitions shall terminate at the underside of roof deck, floor slab or structure above (refer to floor plans, sections, and structural documents for additional information). Allow for movement of structure and provide lateral anchorage.
- Provide blocking to mount all wall fastened items. Review complete documents and ensure blocking is reviewed by the Trade installing the finish item, prior to enclosing partitions and ceiling framing.
- All assemblies requiring fire-resistance ratings and/or are constructed as fire separations shall be constructed in accordance with applicable ULC designs to achieve ratings. Submit copies of ULC designs upon request of Consultant. All gels used in such assembly to be Type-X or Fire Code "C" fire rated typical.
- All assemblies requiring sound transmission class ratings and/or are constructed as acoustically insulated separations shall be constructed in accordance with applicable CBC designs to achieve STC ratings. Whenever acoustic assemblies are penetrated by Work of these Documents, provide complete seal of the penetration in order to maintain STC rating of assembly.
- Whenever fire-rated assemblies are penetrated by Work of these Documents, the Trade Contractor installing penetrating elements shall provide fire-stopping to complete fire-stopping of the penetration. Where assemblies meet u/s of deck, differing construction, and at movement joints, provide fire-stopping.
- Unless otherwise noted, finish all walls, partitions, ceilings as per Finish Schedule.
- Refer to Furniture & Millwork Plans (F-Series) for all millwork elevations/calculcs.
- Exact pocket dimensions to be confirmed with actual movable partition supplier once selected.
- Refer to detailed calculcs for washroom accessories and dimensions.
- All interior faces of exterior precast panels to receive drywall furring P06d at a minimum, unless alternate is noted.
- Water and mold resistant cementboard in all shower wall applications.
- Water and mold resistant drywall in lightly damp tiled applications.

General Partition Notes
1 : 50

SYMBOLS:

- SECTION HEAD
LEVEL
WALL TAG
FIRE SEPARATION TAG
DOOR TAG
REVISION TAG
ROOM TAG
GRID BUBBLE
REVISION CLOUD
MILLWORK

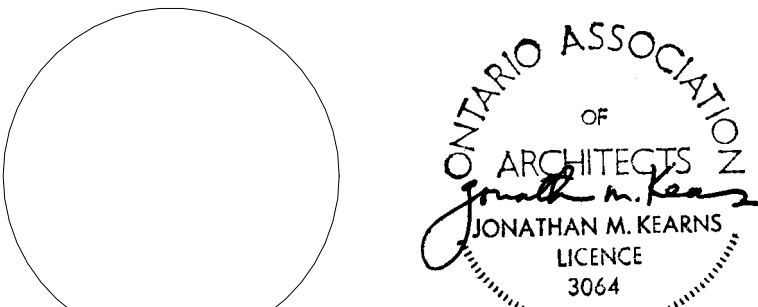
DOOR AND CALL DEVICES LEGEND:

- PUSH BUTTON TO OPEN DOOR IN
PUSH BUTTON TO OPEN DOOR OUT
PUSH BUTTON TO LOCK
PANIC BUTTON
PUSH TO EXIT BUTTON
CARD READER
KEYPAD

MECHANICAL/ELECTRICAL DEVICES LEGEND:

- THERMOSTAT
CO₂ SENSOR
LIGHT SWITCH
LIGHT SWITCH & OCCUPANCY SENSOR
FLOOR DRAIN
ROOF DRAIN
AREA DRAIN
AREA DRAIN
FIRE HOSE CABINET

1 Atlantic Avenue, Suite 104
Toronto, Ontario, M6H 3E7
T: 416.538.5568 F: 416.538.8828
kmaai.com

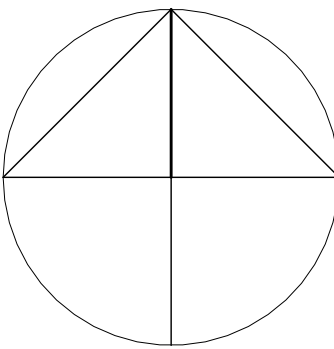


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Certificate of Practice No.: 1796
Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
1	Issued for Reasoning	KMA	June 28, 2021



Project
Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

Scale: 1 : 50
Date Plotted: 6/24/2021 10:11:44 AM
Drawn: Author
Checked: Checker

Project No.: 21-014
Drawing No.:

Ground Floor Plan

A201

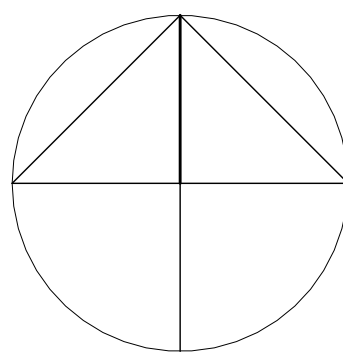


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Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
1	Issued for Reasoning	KMA	June 28, 2021



Project

Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

Scale: 1 : 50
Date Plotted: 6/24/2021 10:11:45 AM
Drawn: Author
Checked: Checker

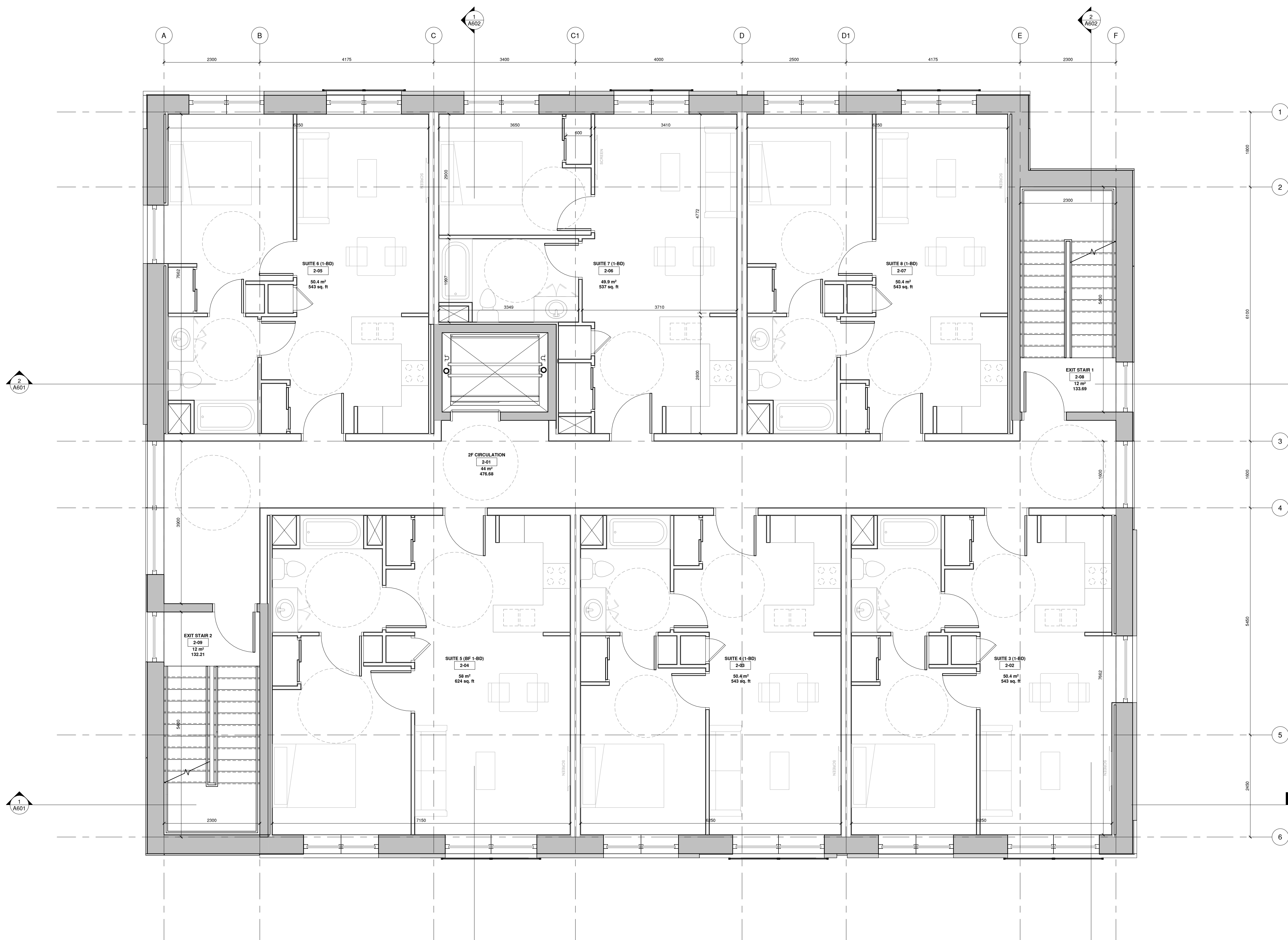
Project No.

Drawing No.

21-014

Level 2 Plan

A202



1 Second Floor - Partition Plan
A202 1 : 50

GENERAL NOTES TO PARTITIONS:

- Unless otherwise noted, all partitions shall terminate at the underside of roof deck, floor slab or structure above (refer to floor plans, sections, and structural documents for additional information). Allow for movement of structure and provide lateral anchorage.
- Provide blocking to mount all wall fasteners/ items. Review complete documents and ensure blocking is reviewed by the Trade installing the finish item, prior to enclosing partitions and ceiling framing.
- All assemblies requiring fire-resistance ratings and/or are constructed as fire separations shall be constructed in accordance with applicable ULC designs to achieve ratings. Submit copies of ULC designs upon request of Consultant. All gels used in such assembly to be Type-X or Fire Code 'C' fire rated typical.
- All assemblies requiring sound transmission class ratings and/or are constructed as acoustically insulated separations shall be constructed in accordance with applicable CBC designs to achieve STC ratings. Whenever acoustic assemblies are penetrated by Work of these Documents, provide complete seal of the penetration in order to maintain STC rating of assembly.
- Whenever fire-rated assemblies are penetrated by Work of these Documents, the Trade Contractor installing penetrating elements shall provide fire-stopping to complete fire-stopping of the penetration. Where assemblies meet u/s of deck, differing construction, and at movement joints, provide fire-stopping.
- Unless otherwise noted, finish all walls, partitions, ceilings as per Finish Schedule.
- Refer to Furniture & Millwork Plans (F-Series) for all millwork elevations/callouts.
- Exact pocket dimensions to be confirmed with actual movable partition supplier once selected.
- Refer to detailed callouts for washroom accessories and dimensions.
- All interior faces of exterior precast panels to receive drywall furring Pold at a minimum, unless alternate is noted.
- Water and mold resistant cementboard in all shower wall applications.
- Water and mold resistant drywall in lightly damp tiled applications.

General Partition Notes
1 : 50

SYMBOLS:

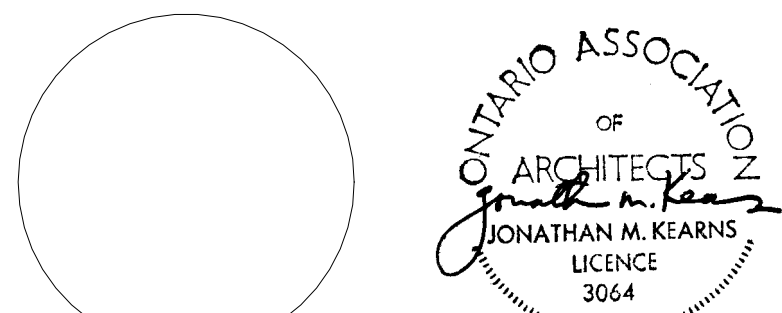
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LEVEL	
WALL TAG	
FIRE SEPARATION TAG	
DOOR TAG	
REVISION TAG	
ROOM TAG	
GRID BUBBLE	
REVISION CLOUD	
MILLWORK	

DOOR AND CALL DEVICES LEGEND:

	PUSH BUTTON TO OPEN DOOR IN
	PUSH BUTTON TO OPEN DOOR OUT
	PUSH BUTTON TO LOCK
	PANIC BUTTON
	PUSH TO EXIT BUTTON
	CARD READER
	KEYPAD

MECHANICAL/ELECTRICAL DEVICES LEGEND:

	THERMOSTAT
	CO2 SENSOR
	LIGHT SWITCH
	LIGHT SWITCH & OCCUPANCY SENSOR
	FLOOR DRAIN
	ROOF DRAIN
	AREA DRAIN
	AREA DRAIN
	FIRE HOSE CABINET

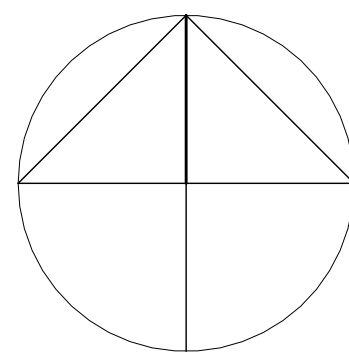


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Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
1	Issued for Reasoning	KMA	June 28, 2021



Greater Sudbury Capital
Redevelopment

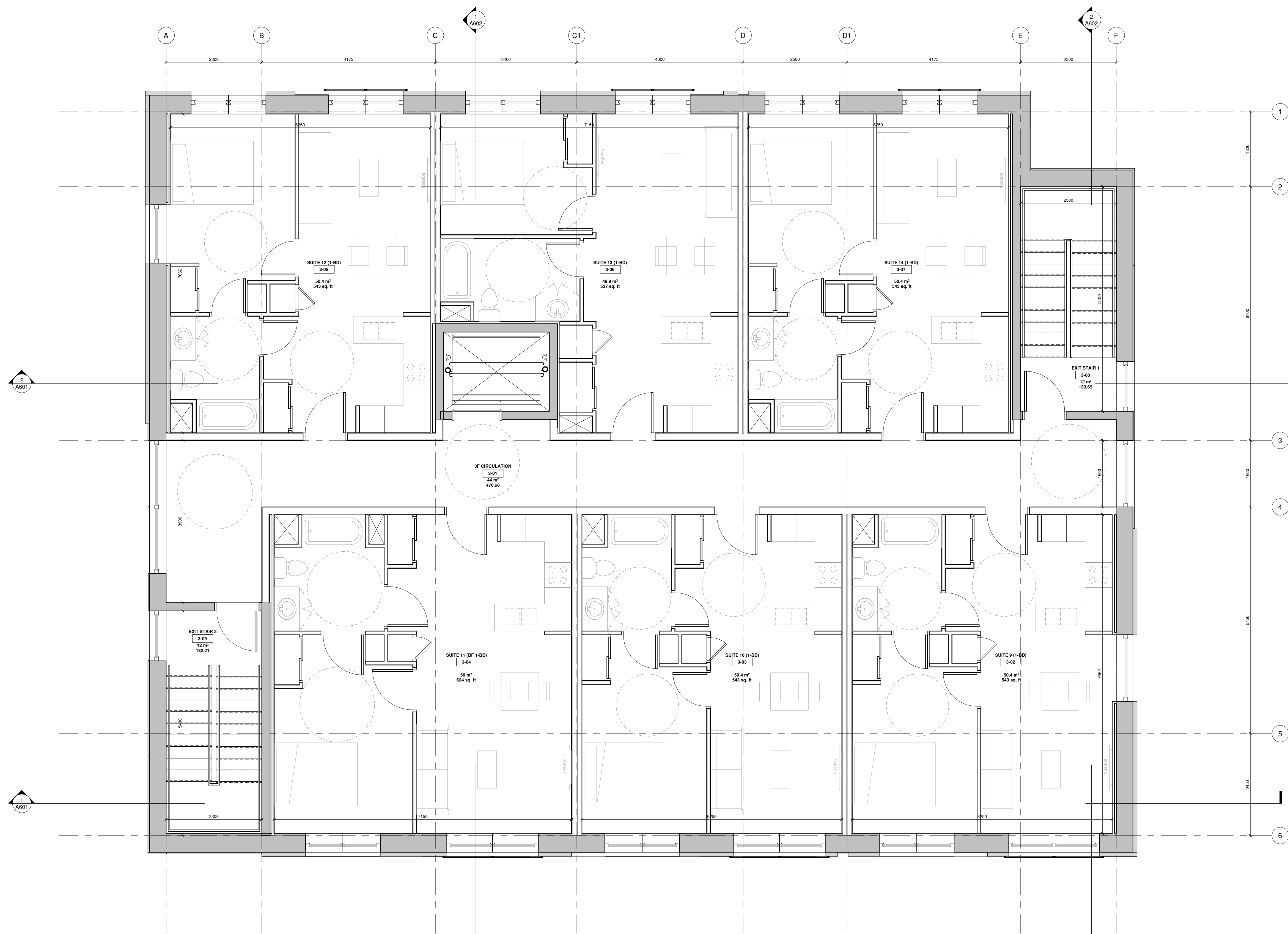
1310 Sparks Street
Sudbury, ON

Scale: 1 : 50
Date Plotted: 6/24/2021 10:11:49 AM
Drawn: Author
Checked: Checker

Project No.: 21-014
Drawing No.:

Level 3 Plan

A203



1 Third Floor - Partition Plan
A203 1 : 50

GENERAL NOTES TO PARTITIONS:

- Unless otherwise noted, all partitions shall terminate at the underside of roof deck, floor slab or structure above (refer to floor plans, sections, and structural documents for additional information). Allow for movement of structure and provide lateral anchorage.
- Provide blocking to mount all wall fasteners. Review complete documents and ensure blocking is reviewed by the Trade installing the finish item, prior to enclosing partitions and ceiling framing.
- All assemblies requiring fire-resistance ratings and/or are constructed as fire separations shall be constructed in accordance with applicable ULC designs to achieve ratings. Submit copies of ULC designs upon request of Consultant. All gels used in such assembly to be Type-X or Fire Code 'C' fire rated typical.
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- Exact pocket dimensions to be confirmed with actual movable partition supplier once selected.
- Refer to detailed callouts for washroom accessories and dimensions.
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- Water and mold resistant cementboard in all shower wall applications.
- Water and mold resistant drywall in lightly damp tiled applications.

SYMBOLS:

SECTION HEAD	
LEVEL	
WALL TAG	
FIRE SEPARATION TAG	
DOOR TAG	
REVISION TAG	
ROOM TAG	
GRID BUBBLE	
REVISION CLOUD	
MILLWORK	

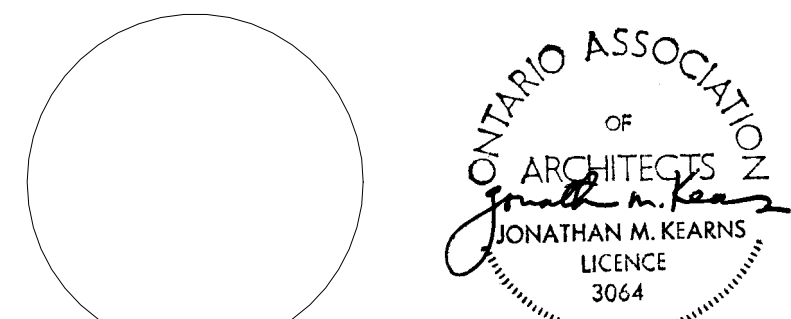
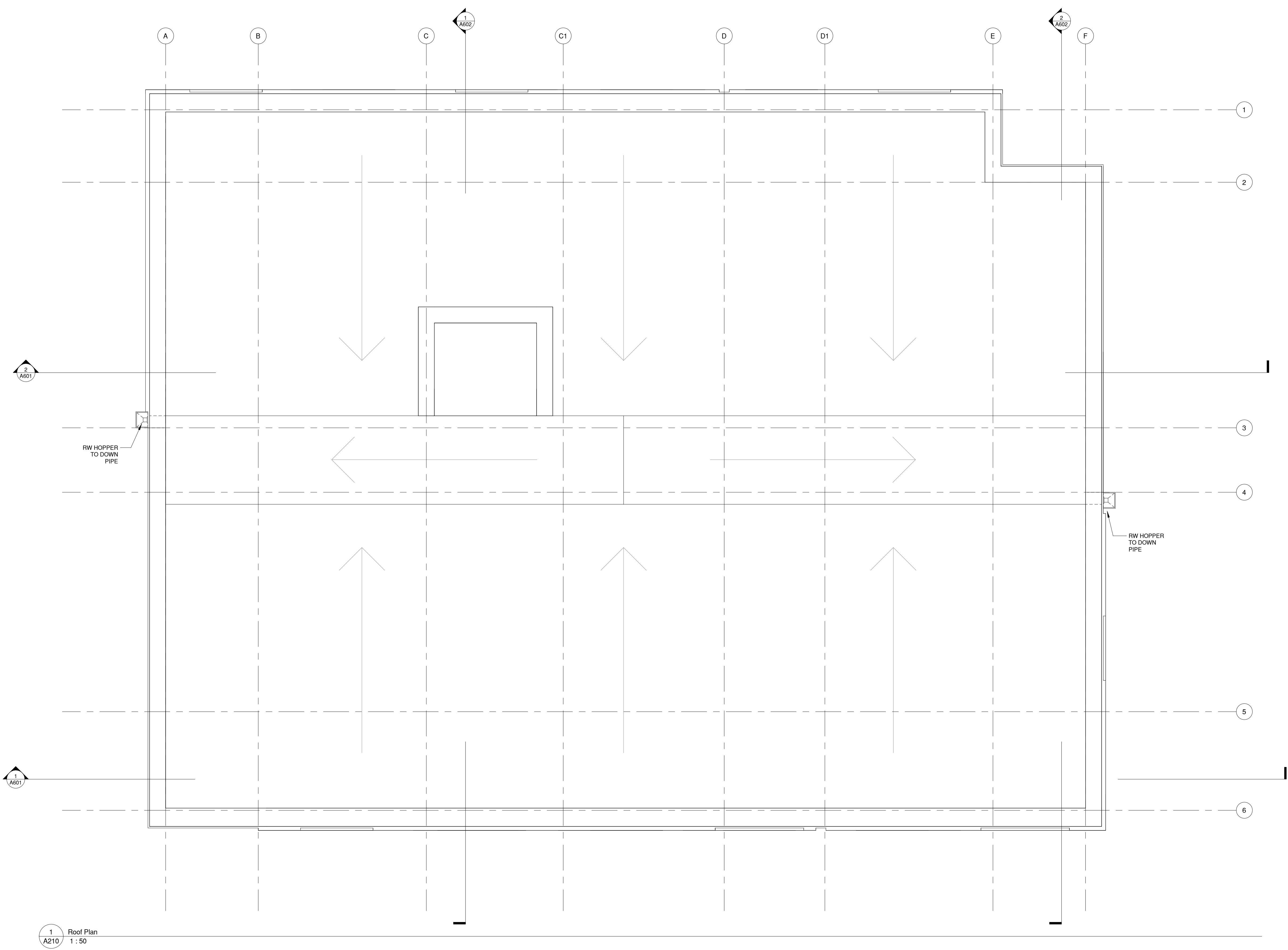
DOOR AND CALL DEVICES LEGEND:

	PUSH BUTTON TO OPEN DOOR IN
	PUSH BUTTON TO OPEN DOOR OUT
	PUSH BUTTON TO LOCK
	PANIC BUTTON
	PUSH TO EXIT BUTTON
	CARD READER
	KEYPAD

MECHANICAL/ELECTRICAL DEVICES LEGEND:

	THERMOSTAT
	CO2 SENSOR
	LIGHT SWITCH
	LIGHT SWITCH & OCCUPANCY SENSOR
	FLOOR DRAIN
	ROOF DRAIN
	AREA DRAIN
	AREA DRAIN
	FIRE HOSE CABINET

General Partition Notes
1 : 50

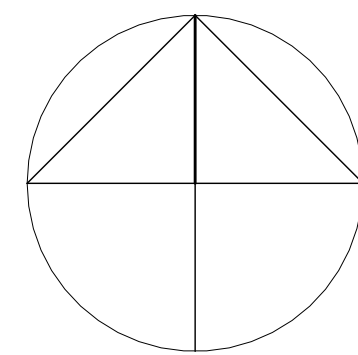


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Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
1	Issued for Reasoning	KMA	June 28, 2021



Project
Greater Sudbury Capital
Redevelopment

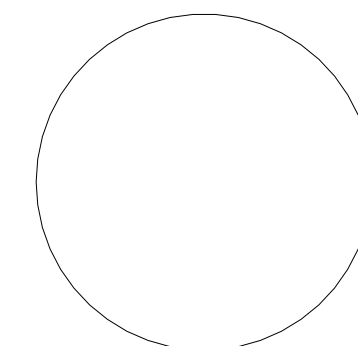
1310 Sparks Street
Sudbury, ON

Scale: 1 : 50
Date Plotted: 6/24/2021 10:11:55 AM
Drawn: JMA
Checked: JMA

Project No.: 21-014
Drawing No.:

Roof Plan

A210

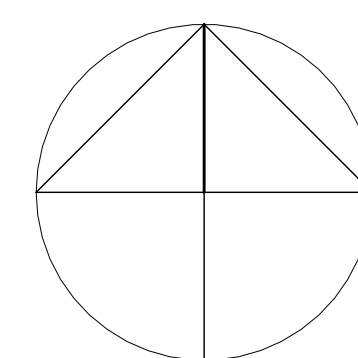


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Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
1	Issued for Reasoning	KMA	June 28, 2021



Project

Greater Sudbury Capital Redevelopment

1310 Sparks Street
Sudbury, ON

Scale: 1 : 50
Date Plotted: 6/24/2021 10:11:56 AM
Drawn: Author
Checked: Checker

Project No.: 21-014
Drawing No.: North and South Building Elevations

A400



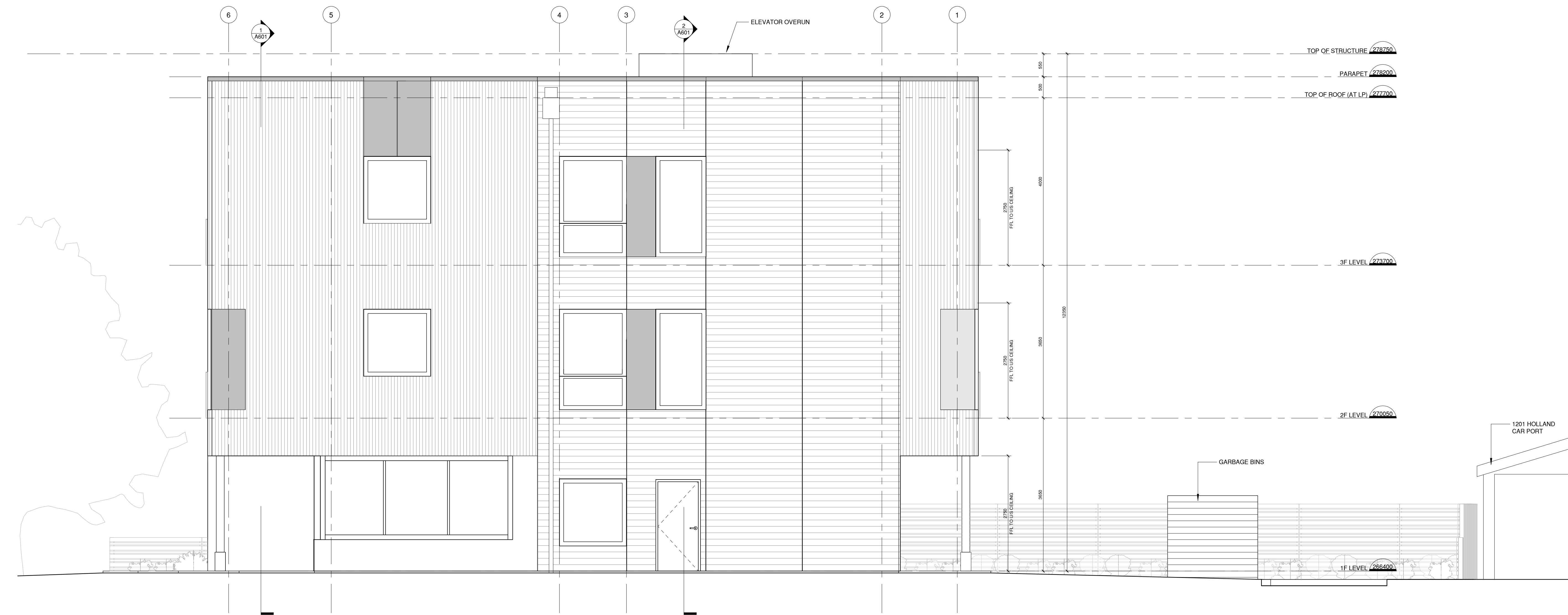
1 SOUTH ELEVATION
A400 1 : 50



2 NORTH ELEVATION
A400 1 : 50

EXTERIOR BUILDING MATERIAL LEGEND:		
	PC-1	CONCRETE PRECAST PANEL PATTERN: SMOOTH FINISH COLOUR: TBC THROUGH SAMPLE PROCESS; SW7031 CANVAS TAN AS DESIGN BASIS
	PC-2	CONCRETE PRECAST PANEL PATTERN: BRICK STRIATED (B JPM011A) COLOUR: TBC THROUGH SAMPLE PROCESS; SW7036 GRIZZLE GRAY AS DESIGN BASIS
	PC-3	CONCRETE PRECAST PANEL PATTERN: BRICK STRIATED (B JPM011A) COLOUR: TBC THROUGH SAMPLE PROCESS; SW7036 GRIZZLE GRAY AS DESIGN BASIS
	PC-4	CONCRETE PRECAST PANEL PATTERN: BRICK STRIATED (B JPM011A) COLOUR: TBC THROUGH SAMPLE PROCESS; SW7036 GRIZZLE GRAY AS DESIGN BASIS
	DW	RANCO CURTAIN CURTAIN WALL SYSTEM - PASSIVE HOUSE CERTIFIED UNIT
		DOUBLE THIN LINE DENOTES PANELIZATION OF PRECAST PANELS
		DOUBLE RED LINEWORK DENOTES PANEL REVEALS IN FORMWORK

Exterior Finishes Legend
1 : 50



1 EAST ELEVATION
A401 1:50



2 WEST ELEVATION
A401 1:50

EXTERIOR BUILDING MATERIAL LEGEND:		
	PC-1	CONCRETE PRECAST PANEL PATTERN: SMOOTH FINISH COLOUR: TBC THROUGH SAMPLE PROCESS; SW7531 CANVAS TAN AS DESIGN BASIS
	PC-2	CONCRETE PRECAST PANEL PATTERN: BRICK STRIATED (B) (JPM011A) COLOUR: TBC THROUGH SAMPLE PROCESS; SW7531 GRIZZLE GRAY AS DESIGN BASIS
	PC-3	CONCRETE PRECAST PANEL PATTERN: BRICK STRIATED (B) (JPM011A) COLOUR: TBC THROUGH SAMPLE PROCESS; SW6051 TANKARK AS DESIGN BASIS
	PC-4	CONCRETE PRECAST PANEL PATTERN: BRICK STRIATED (B) (JPM011A) COLOUR: TBC THROUGH SAMPLE PROCESS; SW7531 CANVAS TAN AS DESIGN BASIS
	CW	PALCO CURTAIN CURTAIN WALL SYSTEM - PASSIVE HOUSE CERTIFIED UNIT
		DOUBLE THIN LINE DENOTES PANELIZATION OF PRECAST PANELS
		DOUBLE RED LINEWORK DENOTES PANEL REVEALS IN FORMWORK

Exterior Finishes Legend
1:50

KEARNS MANCINI ARCHITECTS
3RD LINE STUDIO

1 Atlantic Avenue, Suite 104
Toronto, Ontario, M6K 3E7
T: 416.538.5568 F: 416.538.8828
kma.ca

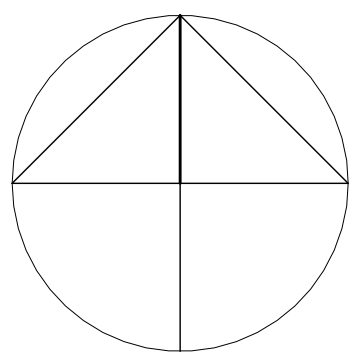
ONTARIO ASSOCIATION
OF
ARCHITECTS
JONATHAN M. KEARNS
LICENCE
3064

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Architect's BCIN:

SPA Permit Tender Contract Construction

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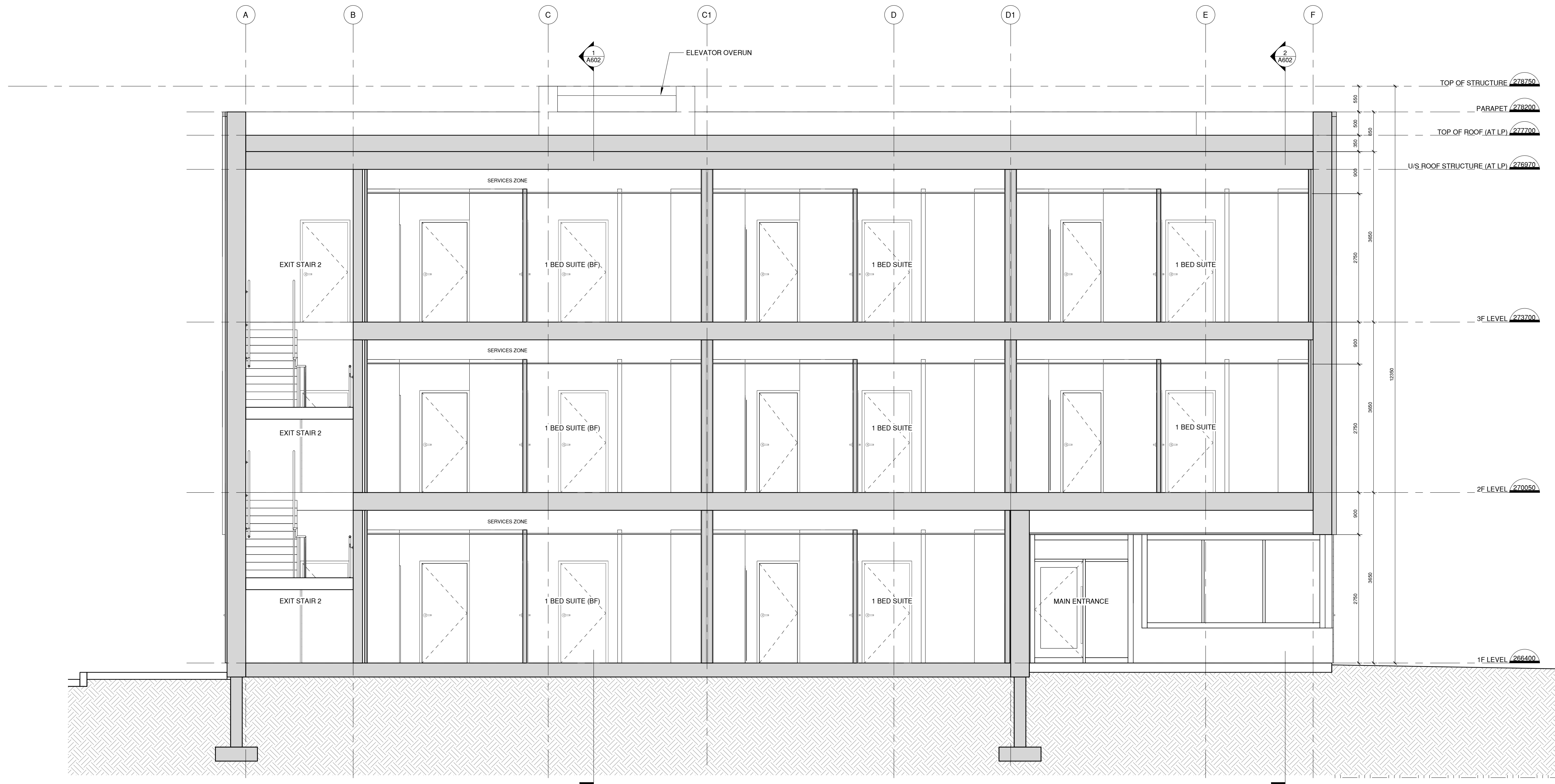
Project
Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

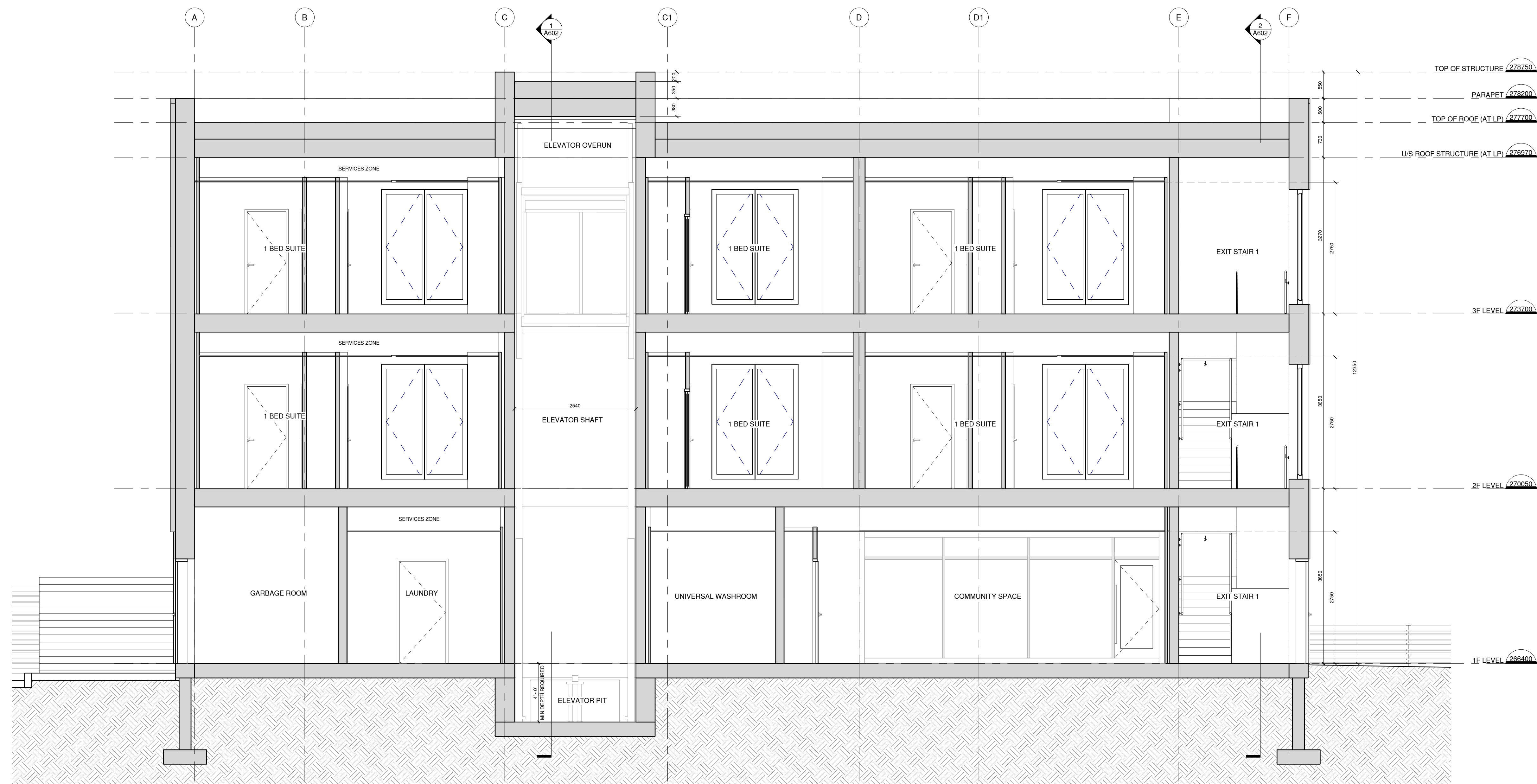
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Date Plotted: 6/24/2021 10:12:02 AM
Drawn: Author
Checked: Checker

Project No.: 21-014
Drawing No.: East and West Building
Elevations

A401



1 East West Section 1
A601 1 : 50



2 East West Section 2
A601 1 : 50

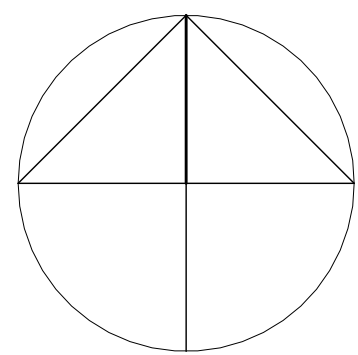


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Certificate of Practice No.: 1796
Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
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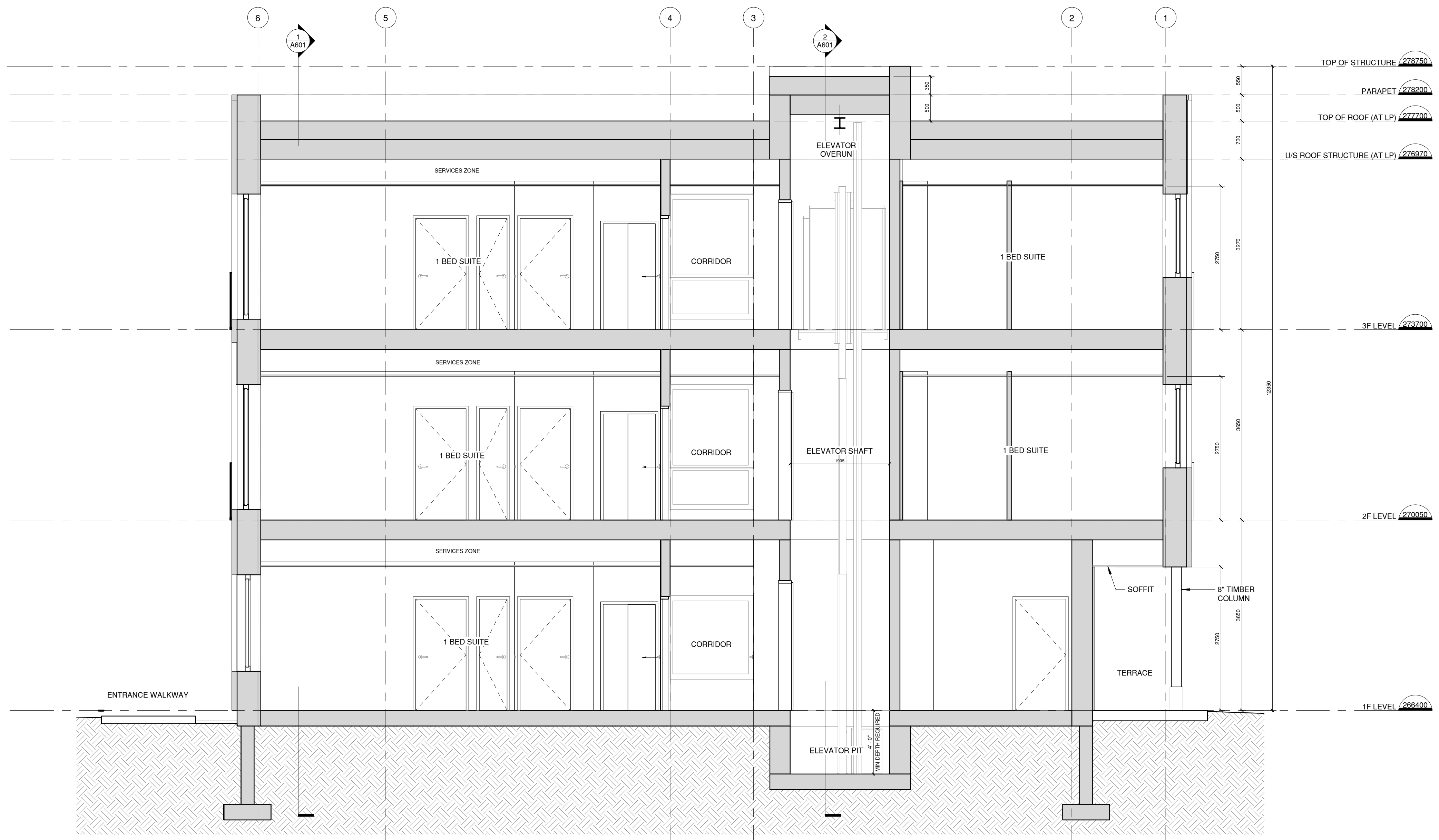
Project
Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

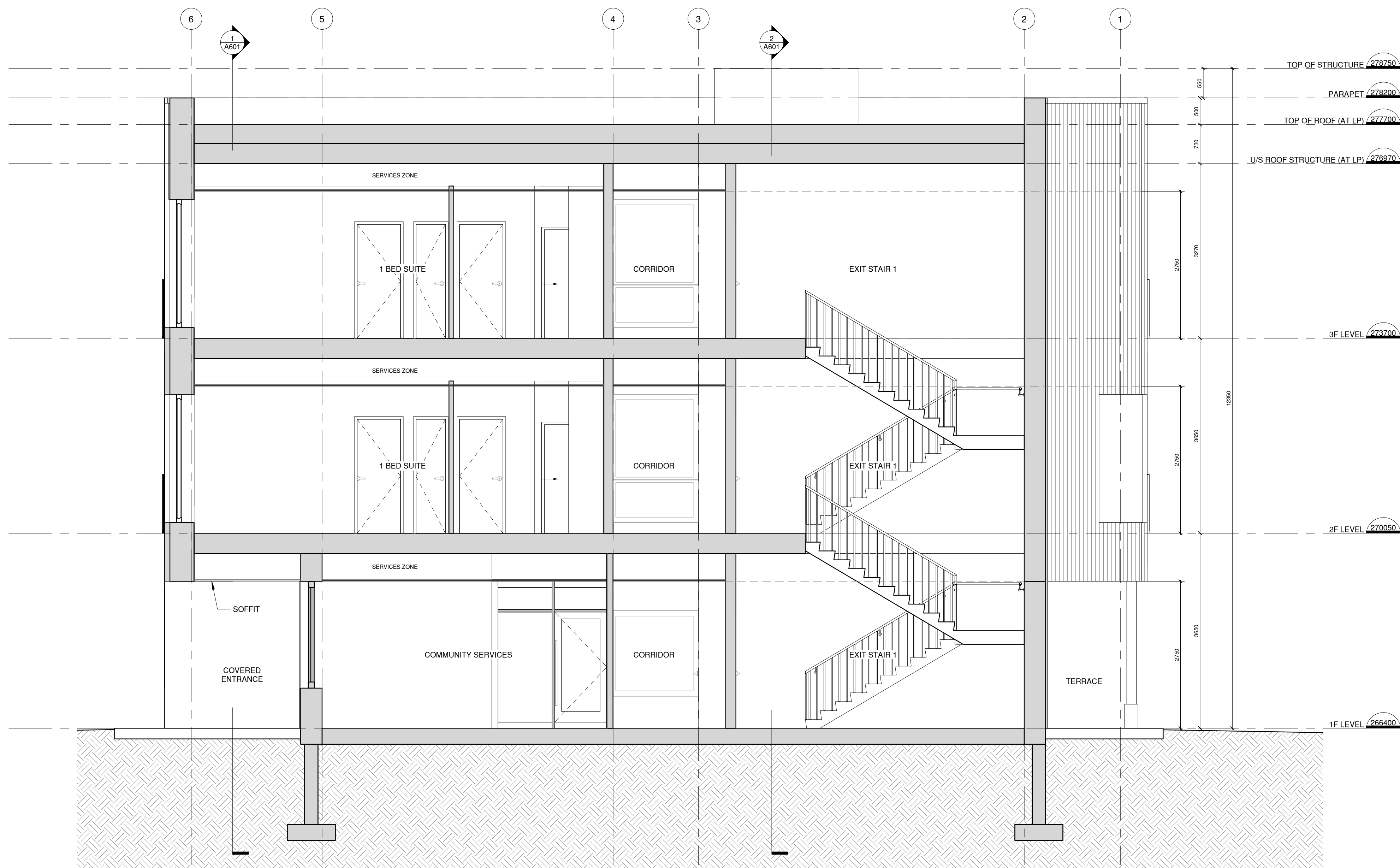
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Drawn: Author
Checked: Checker

Project No.: 21-014
Drawing No.: East West Building
Sections

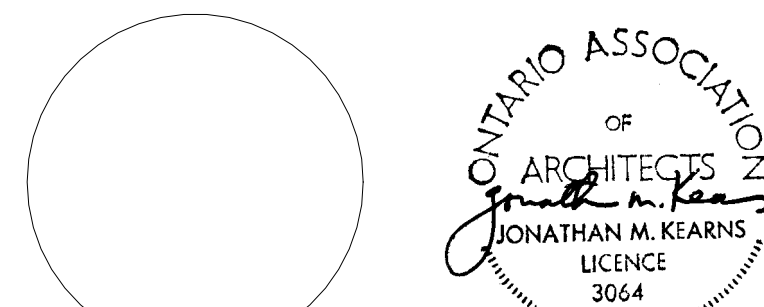
A601



1 North South Section 1
A602 1 : 50



2 North South Section 2
A602 1 : 50

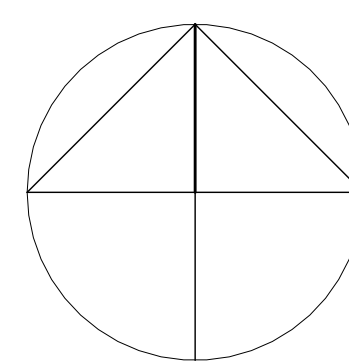


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SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
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Project

Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

Scale: 1 : 50
Date Plotted: 6/24/2021 10:12:08 AM
Drawn: Author
Checked: Checker

Project No.: 21-014
Drawing No.: North South Building
Sections

A602



1
A900 3D View 1 - South East Corner from Sparks Street



2
A900 3D View 2 - North East Corner from Holland Road



3
A900 3D View 3 - South West Corner and Parking from Sparks Street



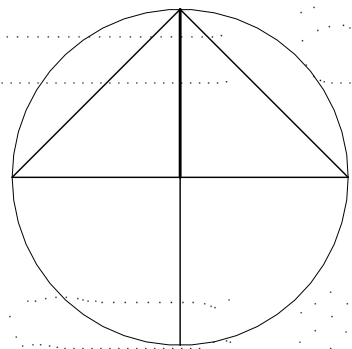
4
A900 3D View 4 - Birds Eye from South East Corner

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Certificate of Practice No.: 1796
Architect's BCIN:

SPA Permit Tender Contract Construction

No.	Description	Chk'd	Date
1	Issued for Reasoning	JKM	June 26, 2021



Project

Greater Sudbury Capital
Redevelopment

1310 Sparks Street
Sudbury, ON

Scale
Date Plotted 6/24/2021 10:12:27 AM
Drawn
Checked

Project No. 21-014
Drawing No.

3D Perspective Views

A900