# GENERAL NOTES SCOPE OF WORK

AS SHOWN ON DRAWINGS AND SPECIFIED

### MINIMUM STANDARDS OF WORK

ALL WORK OF ALL TRADES INDER THIS CONTRACT WILL COPPLY NITH ALL APPLICABLE STANDARDS AND REGULATIONS OF THE REGIONAL MAKIPALITY OF SUDBACT, THE PROVINCE OF ORTHARD, THE HYDRO ELECTRIC POWER COMPSSION OF ORTHARD, SUDBACT HYDRO AND OTHER AUTHORITIES HAVING JARSOCKTION.

EXCEPT HERE A HORE RIGID STANDARD OF HORK IS REGISTED BY THESE CONSTRUCTION DOCUMENTS, THE HIRMM MCCEPTAGE ES TIMORARD OF HORE SHALL BE DEPOBLED TO BE PART 9 OF THE BULDIOS CODE OF ORITARIO, ORTHAND REGULATION 353/1/2, LATEST EDITION, FOR APPECT OF PORKEN/HIGHED FOR SEGULATED BY THE ORTHAND BILDING CODE THE HIRMM MCCEPTAGE. STANDARD OF HORE SHALL BE DEEDED TO BE THE APPLICABLE CSA. STANDARD.

### PERMITS AND INSPECTIONS

- A. THE CONTRACTOR WILL OBTAIN AND PAY FOR ALL REGURED BUILDING PERMITS AND INSPECTIONS.
- B. THE MECHANICAL SUBCONTRACTOR WILL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND INSPECTIONS FOR WORK OF HIS TRADE.
- C. THE ELECTRICAL SUBCONTRACTOR WILL OBTAIN AND PAY FOR ALL REQUIRED HYDRO PERMITS AND INSPECTIONS.

#### INSURANCE

CONTRACTOR SHALL CARRY COMPREHENSIVE LIABILITY

#### DESCRIPTION OF EXISTING BUILDING

ORIGINAL BUILDING CONSTRUCTED IN 1965 UNDER PERMIT NUMBER 65-5042.

GENERAL NOTES:

BULDING CONTRACTOR TO VERIFY ALL DIMENSIONS BEFORE PROCEEDING, DIMENSIONS ALIVAYS TAKE PRECEDENCE OVER SCALE MEASUREMENTS.

FIRE SEPARATIONS TO CONFORM TO LOCAL REGULATIONS.

ALL LINTELS AND BEAMS TO HAVE MINIMUM 4" BEARING ON EACH END.

ALL LUMBER TO BE NO 2 GRADE SPRIKE OR FIR.

· CAULK OVER AND AROUND ALL EXTERIOR OPENINGS GENERAL CONTRACTOR TO VISIT SITE PRIOR TO SUBMITTING PRICES.

PROVIDE SMOKE DETECTOR AS PER ONTARIO BULDING CODE.

ALL LIGHTING FIXTURES, MODEL AND TYPE TO BE DECIDED BY OWNER UNLESS NOTED

ALL PLIMBING WORK SHALL CONFORM TO THE ONTARIO PLIMBING CODE, ONTARIO BULDING CODE, CSA STANDARDS AND THE SUDBURY HEALTH UNIT AND HEPC.

BUILDING IS A 2 STOREY WOOD PRAME BRICK VENEER RESIDENCE WITH 4 DWELLING RENTAL UNITS (2 PER FLOOR) ON A CONCRETE BLOCK FOUNDATION. BASEMENT FLOOR CONTAINS 2 RENTABLE GROUP D OCCUPANCY,

ORIGINAL LAYOUT FOR GROUP D OCCUPANCY UNKNOWN.

BASED ON "1965 NATIONAL BUILDING CODE REQUIREMENTS" FOR FIRE

- BASED ON "1965 NATIONAL BUILDING CODE REQUIREMENTS" FOR FIRE SEPARATIONS ARE AS FOLLOWS;

  DEMISING WALL BETWEEN GROUP D OCCUPANCY AT BASEMENT TO BE I HOUR.

  DEMISING WALLS BETWEEN GROUP C OCCUPANCY AT GROUND FLOOR AND SECOND FLOOR TO BE 3/4 HOUR.

  ALL FLOORS TO BE 3/4 HOUR.

- STAIRCASE ENCLOSURE TO BE 3/4 HOUR.

EXISTING BASEMENT DEMISING WALL IS CONCRETE BLOCK PROVIDING THE REQUIRED I HOUR FIRE SEPARATION,

EXISTING GROUND FLOOR AND SECOND FLOOR DEMISING WALL IS PLASTER ON WOOD FRAME PROVIDING THE REQUIRED 3/4 HOUR FIRE SEPARATION.

EXISTING FLOORS ARE T. 4 G, WOOD PLANKS ON WOOD FRAMING WITH PLASTER FINISH AT UNDERSIDE OF FLOOR FRAMING, PROVIDING THE REQUIRED 3/4 HOUR FIRE SEPERATION.

# DESCRIPTION OF CURRENT EXISTING BUILDING

ORIGINAL 4 DWELLING RENTAL UNITS (2 PER FLOOR) ARE EXISTING AND AS PER ORIGINAL CONSTRUCTION.

BASEMENT FLOOR GROUP D OCCUPANCY HAVE BEEN CONVERTED TO 2 DWELLING RENTAL UNITS REQUIRING A <u>CHANGE OF USE PERMIT</u>.

CONVERSION WORK PERFORMED PRE 1975.

FIRE-RATED PARTITIONS OF ORIGINAL BUILDING ARE AS PER ORIGINAL CONSTRUCTION AND APPLICABLE CODE AT THE TIME.

EXISTING CONSTRUCTION INDEX EQUALS 4.

## HAZARDOUS INDEX EQUALS 3.

SINCE CONSTRUCTION INDEX IS GREATER THAN THE HAZARDOUS INDEX NO CHANGES OR MAJOR UPGRADES REQUIRED, IMPLEMENTATION OF EARLY WARNING AND EVACUATION REQUIRED. SEE DESCRIPTION UNDER WORK TO BE

# WORK TO BE PERFORMED

- REPLACE ALL ENTRY DOORS AND FRAMES TO SUITES WITH NEW 3/4 HOUR FIRE RATED DOORS AND FRAMES COMPLETE WITH CLOSER. REMOVE EXISTING WINDOWS AT WASHROOMS FOR UNITS 1, 2, 3 AND 4 AND INFILL OPENING WITH NEW 3/4 HOUR FIRE RATED ASSEMBLY AS NOTED. INSTALL NEW BATTERY OPERATED, WIFI, SMOKE DETECTORS INSIDE ALL BEDROOMS ENTRANCES AT UNIT 5 AND 6. REFER TO PLAN FOR
- LOCATIONS.
- LOCATIONS,
  REPLACE MALL, DOOR AND FRAME BETWEEN LAUNDRY ROOM AND SUITE
  6 TO A NEW 3/4 HOUR FIRE RATED WALL, FRAME AND DOOR,
  ANY EXISTING OPENINGS AT BASEMENT FLOOR TO BE SEALED WITH
  MINIMUM 2 LAYERS OF 1/2" TYPE "X" GYPSUM SHEATHING OR 2 LAYERS OF
  5/6" TYPE "X" GYPSUM SHEATHING TO MAINTAIN AND RESTORE EXISTING
  3/4" HOUR FIRE RATING.
  FIRE 5TOP ALL PENETRATIONS (CABLES, PLUMBING, OPENINGS) THROUGH
  FLOOR OR WALL AT BASEMENT LEVEL.
  AS PART OF THE EARLY WARNING UPGRADES A NEW TWO STAGE FIRE
  ALADM CAW SUPERING HEAT DETECTOR AND SMOKE DETECTORS.
- ALARM C/W SIRENS, HEAT DETECTOR AND SMOKE DETECTOR WILL BE
- ALARM CASTINETIS, THAT DETERMINE THE MERCHANT STATE OF EVACUATIONS BATTERY OPERATED EMERGENCY LIGHTS MILL BE INSTALLED IN ALL STAIRCASES, LAUNDRY FACILITY AND ELECTRICAL ROOM.

RESTORE TO ORIGINAL CONDITIONS ALL EXISTING WALLS, DOORS, FRAMES AND FLOOR AS REQUIRED TO MAINTAIN INTEGRITY OF EXISTING FIRE RATINGS.

DESCRIPTION	AREA	
BASEMENT FLOOR	2,190 SQ.FT. EXISTING	
MAIN FLOOR	2,190 SQ.FT. EXISTING	
SECOND FLOOR	1,200 SQ.FT. EXISTING	
FINISH BASEMENT - (RENOVATED INSIDE DIMENSIONS)	1,705 SQ.FT. EXISTING EROUP D TO C	
ATTACHED GARAGE - (OUTSIDE DIMENSIONS)	NA	
ATTACHED GARAGE - (INSIDE DIMENSIONS)	N/A	
DETACH GARAGE (OUTSIDE DIMENSIONS)	N/A	
DETACH GARAGE (INSIDE DIMENSIONS)	NA	
DECK	N/A	

### EXISTING ASSEMBLY DESCRIPTION - TO BE MAINTAINED

### 3/4 HOUR AND I HOUR FIRE RATED WALL ASSEMBLY

5/8 TYPE 'X' GYPSUM BOARD SHEATHING 2"X4" WOOD STUD FRAMING @ 16" O.C. 3" SOUND ATTENUATION BATT INSULATION 5/8 TYPE 'X' GYPSUM BOARD SHEATHING

### 3/4 HOUR FIRE RATED WALL ASSEMBLY AT UNIT 6 (STC OF 50 MIN)

5/8 TYPE 'X' GYPSUM BOARD SHEATHING 2"X4" WOOD STUD FRAMING @ 16" O.C.
3" SOUND ATTENUATION BATT INSULATION
RESILIENT CHANNELS @ 16" O.C.
2 LAYERS OF 5/B TYPE 'X' GYPSUM BOARD SHEATHING

## 3/4 HOUR FIRE RATED FLOOR ASSEMBLY

EXISTING FLOOR FINISH EXISTING 5/8" THICK T.&G. BOARDS EXISTING 2" X 8" FLOOR JOISTS @ 16" O.C. 3" SOUND ATTENUATION BATT INSULATION MINIMUM 2 LAYERS OF 1/2" TYPE 'X' OR 2 LAYERS OF 5/8 TYPE 'X' GYPSUM BOARD SHEATHING

### LOCATION FOR HEAT DETECTORS, SMOKE ALARMS, EMERGENCY LIGHTS AND PULL STATIONS

- PULL STATION

TO BE LOCATED NEXT TO THE EXISTING EXIT DOORS LOCATED AT THE GROUND FLOOR AT BOTH FRONT AND REAR STAIRCASE

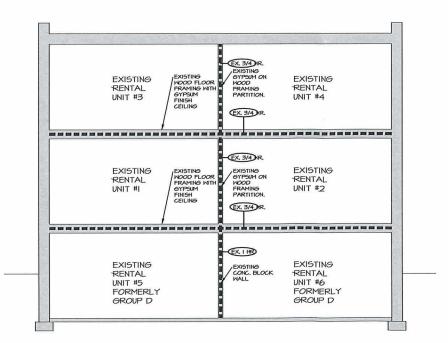
HEAT DETECTORS

TO BE LOCATED INSIDE LANDLORD STORAGE ROOMS,
MAIN LANDRY ROOM AT BASEMENT LEVEL,
MAIN ELECTRICAL ROOM AT BASEMENT LEVEL.

- SMOKE DETECTORS

ME DETECTORS
TO BE LOCATED AT CEILING LEVEL INSIDE BOTH STAIRCASE.
UNIT 5 - ONE IN EACH BEDROOMS AND ONE IN THE MAIN HALLWAY
UNIT 6 - ONE IN THE LIVING/BEDROOM AREA AND ONE IN THE DEN

EMERGENCY LIGHTS
TO BE LOCATED AT ALL FLOOR LEVEL INSIDE BOTH STAIRCASE.
ELECTRICAL ROOM AT BASEMENT MAIN LAUNDRY ROOM AT BASEMENT



	N 90° 00' E 40,0' (R) 39,95 (M)			
9966 99.65	LOT 328  EXISTING PARKING TO REMAIN AS IS			
635°. N 00° 00′ E 115,0′ RV	SHADING DENOTES EXTENT EXISTING OF 2 STOREY RESIDENCE ON CONCRETE BLOCK FORNDATION, MANUPAL STREET ADDRESS 282 DELL STREET, ORIGINAL PERMIT NAMER - 65-5042 4 DWELLING RENTAL WITS AND 2 GROW D RENTAL SPACE	N 00° 00° E 115.0° (R)		
7.7	EXISTING SODDING TO  REMAIN.  N 90° 00' E 400' (R) 40.02' (N)	10		
DELL STREET				

LANE WAY

SITE PLAN

PROPERTY SURVEY INFORMATION TAKEN FROM SURVEY PLAN BY LANE AND LANE O.L.S. DATED

REG. PLAN 18-5 GREATER CITY OF SUDBURY MUNICIPAL ADDRESS 252 DELL STREET

**BUILDING SECTION** SCALE: 1/4"=1'-0"

(705) 590-2097

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 To hot self buildes. HAVE RESILIES HE STATE S ROBERT L ANDRÉ FIRM BCIN No. 35333

THE SIGNATURE BELOW MUST APPEAR IN RED IN ORDER TO VALIDATE THAT THE DESIGNER HAS REVIEWED AND TAKES

ACCREDITED HOME **DESIGN AND DRAFTING** Chelmsford, Ontario

DRAWING HAVE SITE PLAN, BUILDING SECTION AND NOTES

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**CHANGE OF USE** 

AT 252 DELL STREET

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DRAWN BY: RA DATE: 21-01-04 SAYE AS: PLAN JOB NO: 2020-18

DRAWING HUMBER



LIVING SPACE WINDOWS



BEDROOM SPACE WINDOWS

PHOTO OF EXISTING BASEMENT WINDOWS

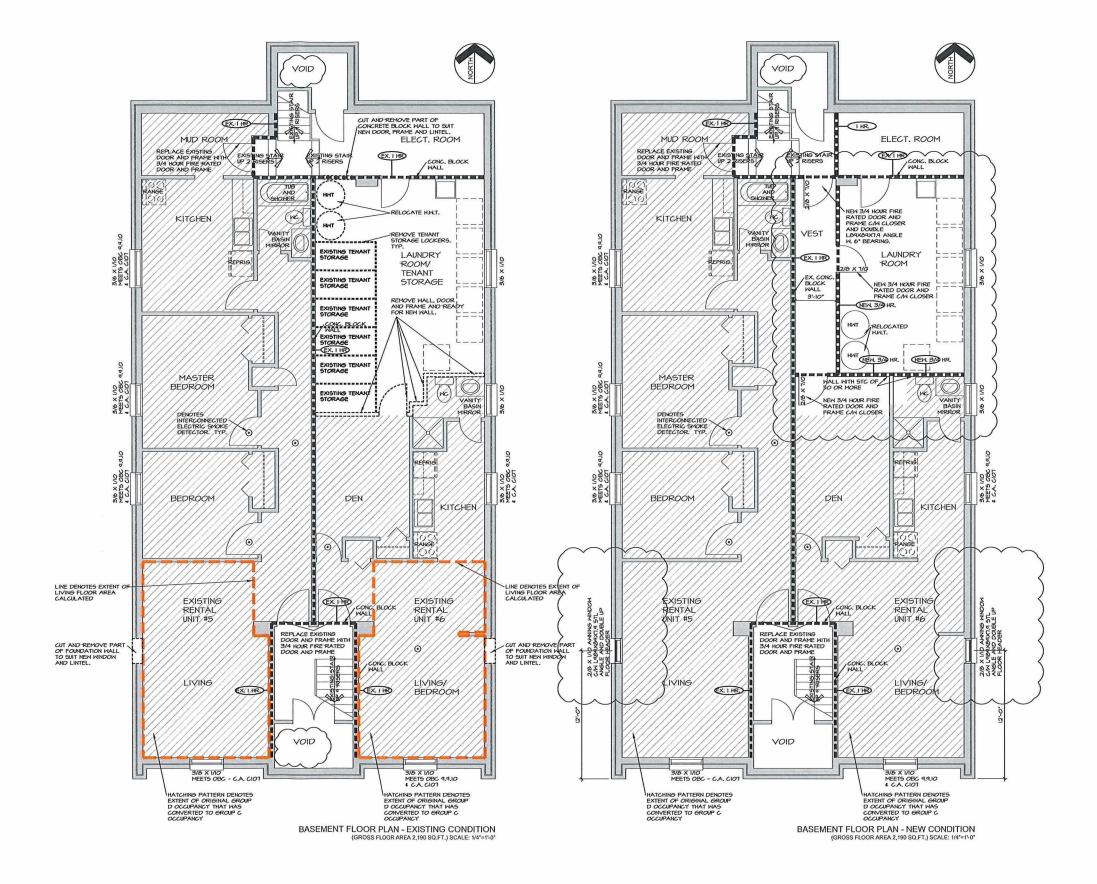
## LIVING AND WINDOW AREA CALCULATION

2 LIVING FLOOR AREA IS 208 SQUARE FEET. 5% OF LIVING AREA EQUALS 10.4 SQUARE FEET EXISTING HINDOW AREA EQUALS 6.7 SQUARE FEET. NEW WINDOW TO EQUAL 3.7 SQUARE FEET OR MORE.

F 6 LIVING FLOOR AREA IS 201 SQUARE FEET. 5% OF LIVING AREA EQUALS 10,4 SQUARE FEET EXISTING WINDOW AREA EQUALS 6.1 SQUARE FEET. NEW WINDOW TO EQUAL 3.1 SQUARE FEET OR MORE.



EXISTING WINDOW ELEVATION SCALE: 1/4"=1'-0"



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THE SIGNATURE BELOW MUST APPEAR IN RED IN ORDER TO VALIDATE THAT THE DESIGNER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THESE DRAWINGS

ACCREDITED HOME **DESIGN AND DRAFTING**  DRAYING HAVE FLOOR PLANS

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PROJECT HAVE CHANGE OF USE AT 252 DELL STREET

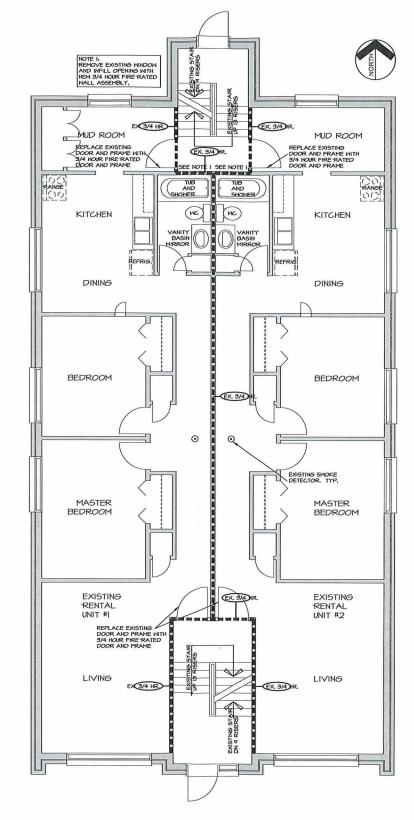
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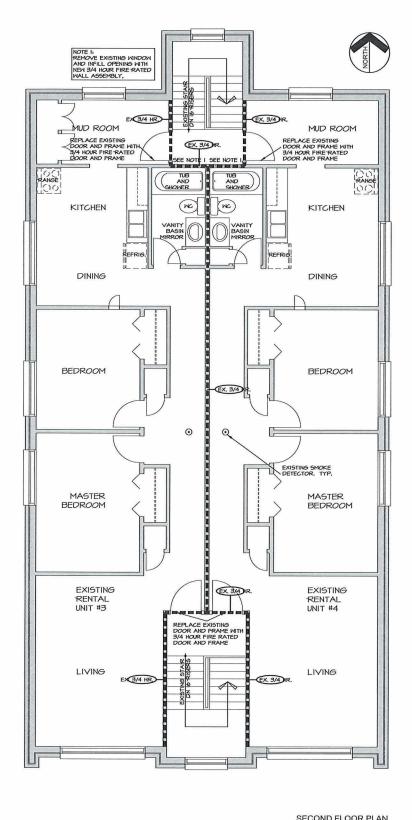
REVISIONS

ROBERT L ANDRÉ FIRM BCIN No. 35333

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DEST CREATIONS LIKE PROTECTED BY DE COPYRION LET. ANY PERPROJECTION IN PLOTE ON IN PLANT IS PROMISTED BY LIA ID DEST CREATIONS RELIAM THE PROPERTY OF THE RESIDENT RAP SHALL HOT BE ALTERED IN ANY WAMPER OR USED OF ANY ORDER PROJECT.





GROUND FLOOR PLAN (GROSS FLOOR AREA 2,190 SQ.FT.) SCALE: 1/4"=1'-0" SECOND FLOOR PLAN (GROSS FLOOR AREA 2,190 SQ.FT.) SCALE: 1/4°=1'-0"

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