



LIVING SPACE WINDOWS

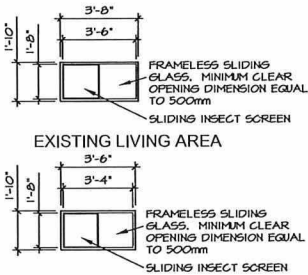


BEDROOM SPACE WINDOWS

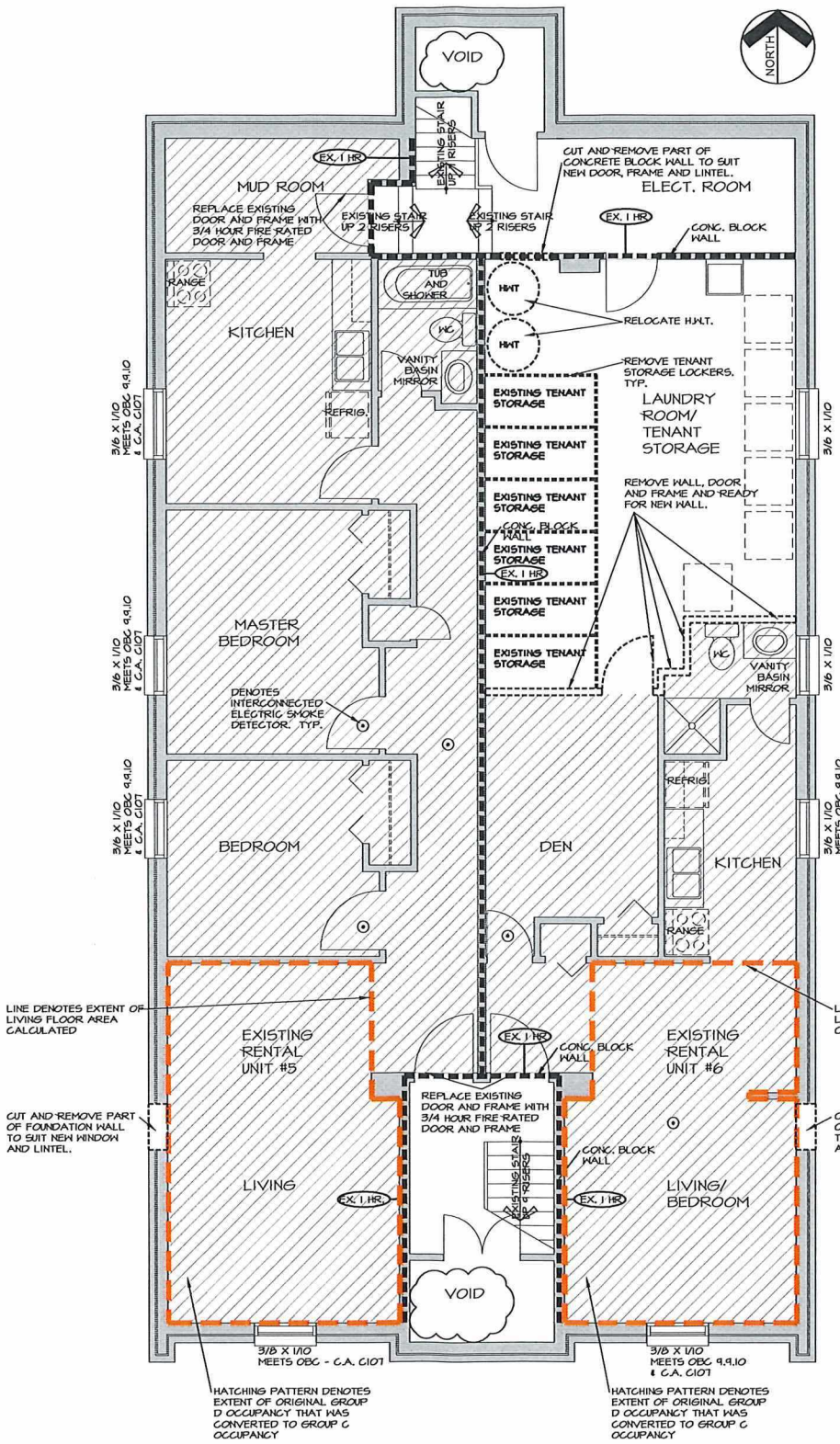
PHOTO OF EXISTING BASEMENT WINDOWS
SCALE: NTS

LIVING AND WINDOW AREA CALCULATION

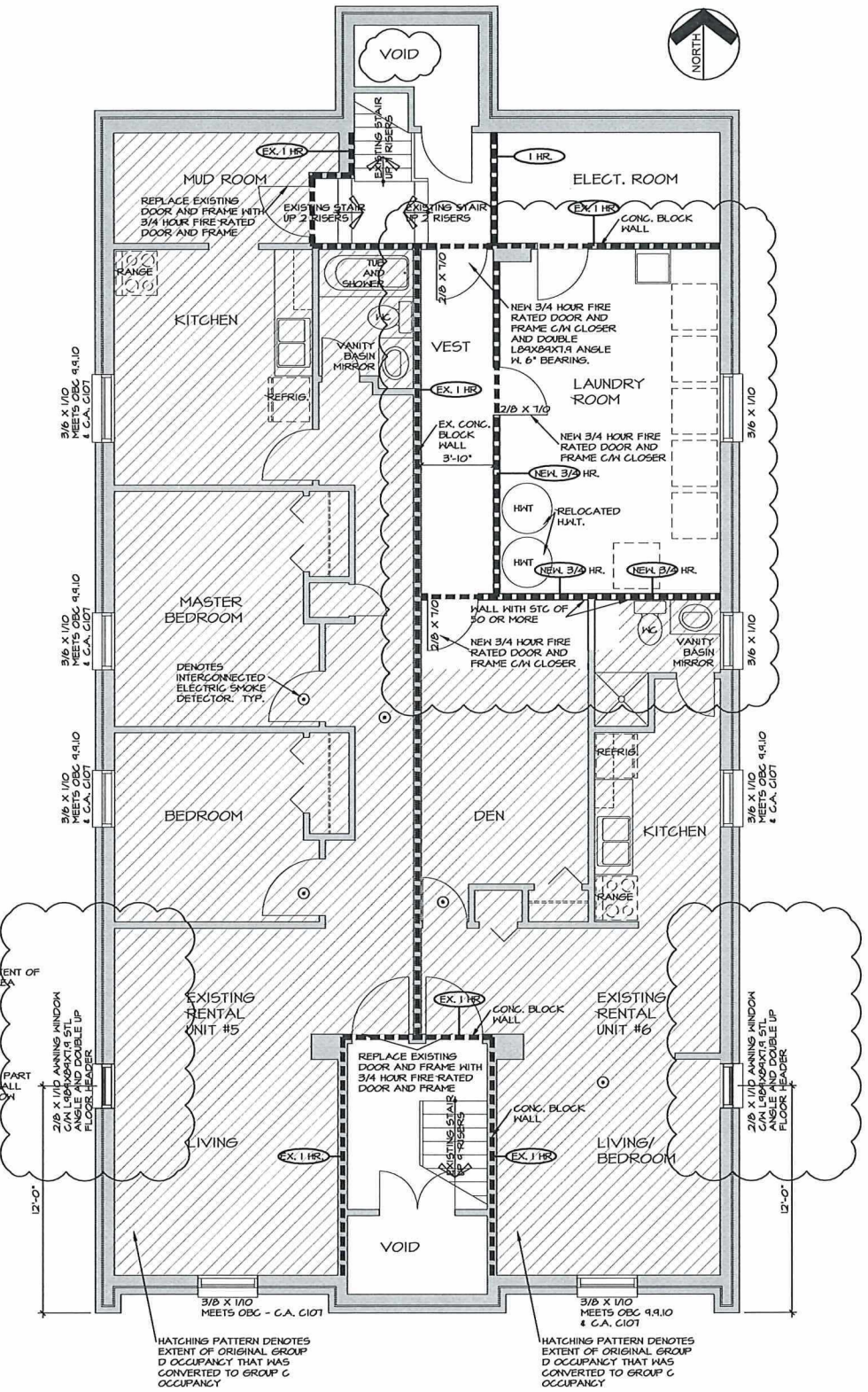
- UNIT 5
LIVING FLOOR AREA IS 208 SQUARE FEET.
5% OF LIVING AREA EQUALS 10.4 SQUARE FEET
EXISTING WINDOW AREA EQUALS 6.7 SQUARE FEET.
NEW WINDOW TO EQUAL 3.7 SQUARE FEET OR MORE.
- UNIT 6
LIVING FLOOR AREA IS 207 SQUARE FEET.
5% OF LIVING AREA EQUALS 10.4 SQUARE FEET
EXISTING WINDOW AREA EQUALS 6.7 SQUARE FEET.
NEW WINDOW TO EQUAL 3.7 SQUARE FEET OR MORE.



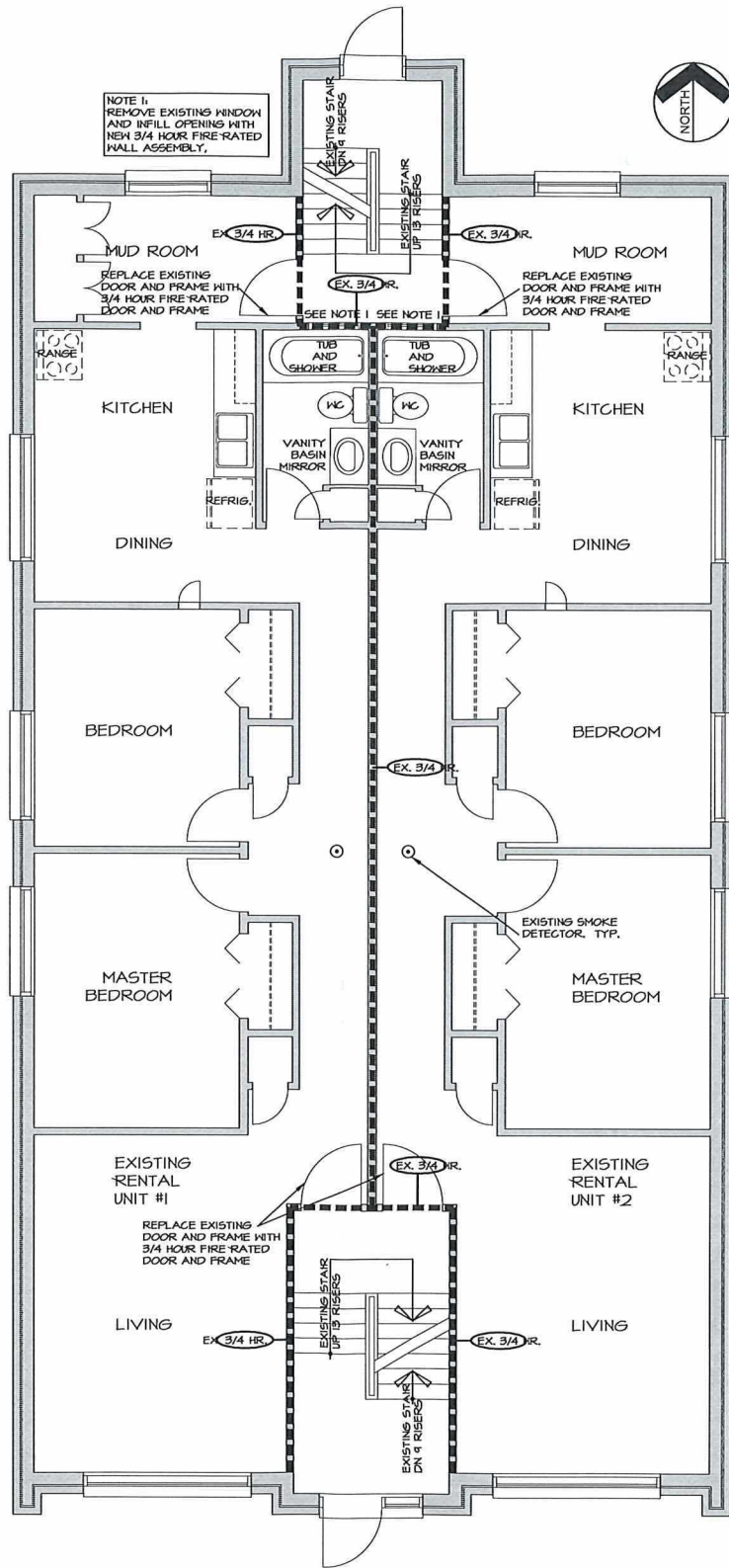
EXISTING WINDOW ELEVATION
SCALE: 1/4"=1'-0"



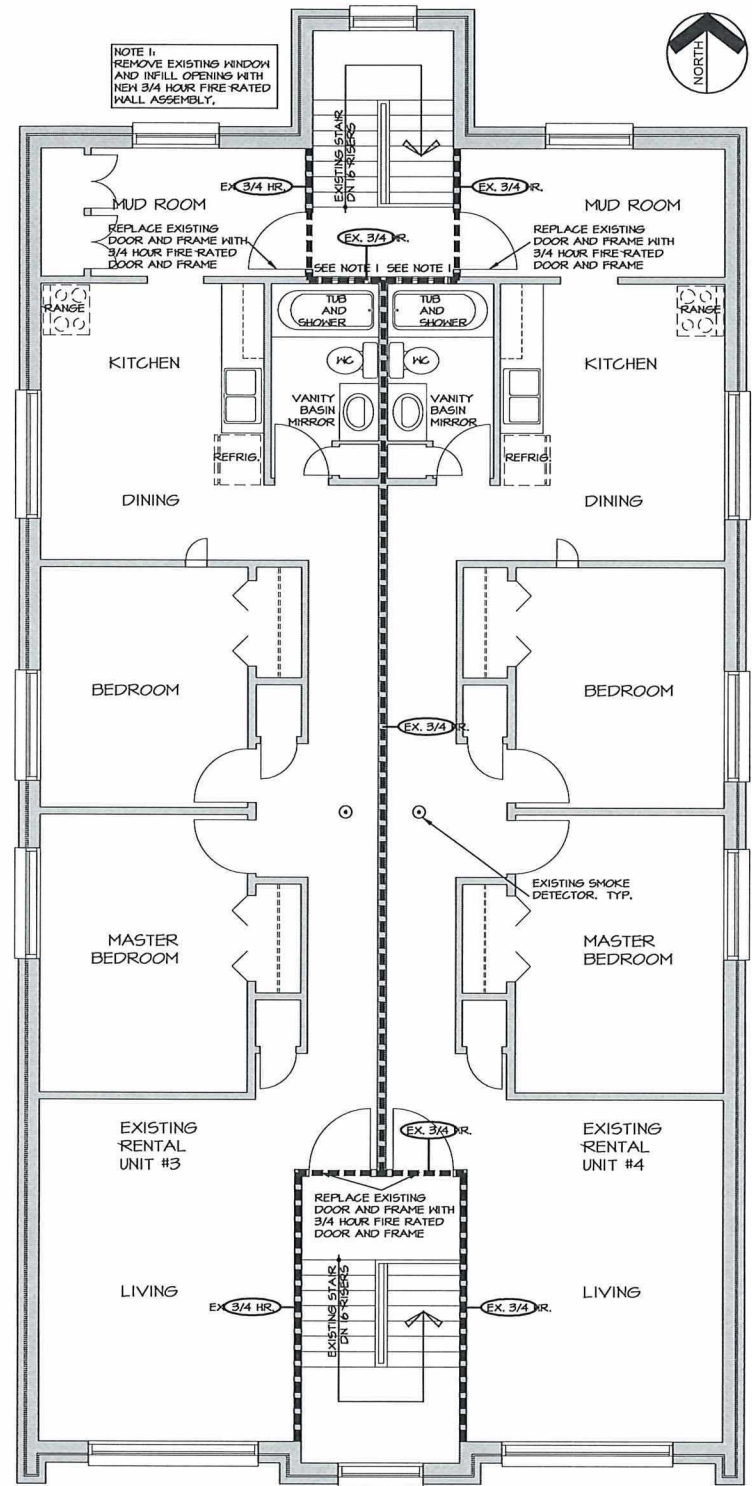
BASEMENT FLOOR PLAN - EXISTING CONDITION
(GROSS FLOOR AREA 2,190 SQ.FT.) SCALE: 1/4"=1'-0"



BASEMENT FLOOR PLAN - NEW CONDITION
(GROSS FLOOR AREA 2,190 SQ.FT.) SCALE: 1/4"=1'-0"



GROUND FLOOR PLAN
(GROSS FLOOR AREA 2,190 SQ.FT.) SCALE: 1/4"=1'-0"



SECOND FLOOR PLAN
(GROSS FLOOR AREA 2,190 SQ.FT.) SCALE: 1/4"=1'-0"

<p>REVISIONS</p>	<p>NOTES</p> <ol style="list-style-type: none"> 1. Any changes made to the design during construction must be approved by the designer and the client. 2. Do not scale drawings. 	<p>THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THIS DESIGN AND THE CONSTRUCTION OF THE PROJECT. THE UNDERSIGNED HAS REVIEWED AND TAKES RESPONSIBILITY FOR THESE DRAWINGS.</p> <p><i>Robert Andrei - 21-05-31</i></p> <p>ROBERT L. ANDREI FIRM BCIN No. 35333</p>	<p>THE SIGNATURE BELOW MUST APPEAR IN RED IN ORDER TO VALIDATE THAT THE DESIGNER HAS REVIEWED AND TAKES RESPONSIBILITY FOR THESE DRAWINGS.</p> <p><i>Robert Andrei - 21-05-31</i></p> <p>ROBERT L. ANDREI FIRM BCIN No. 35333</p>	<p>ACCREDITED HOME DESIGN AND DRAFTING 27 Rushbrooke Crescent Chelmsford, Ontario P0M 1L0 (705) 590-2097</p>	<p>DRAWING NAME FLOOR PLANS</p> <p>CONTRACTORS AND SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES, OMISSIONS, OR CONFLICTS TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.</p>	<p>PROJECT NAME CHANGE OF USE AT 252 DELL STREET</p> <p>THESE DRAWINGS ARE PROTECTED BY THE COPYRIGHT ACT. ANY REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED BY LAW. THESE DRAWINGS REMAIN THE PROPERTY OF THE DESIGNER AND SHALL NOT BE ALTERED IN ANY MANNER OR USED ON ANY OTHER PROJECT.</p>	<p>DRAWN BY: RA SCALE: AS SHOWN DATE: 21-01-04 SAVE AS: PLAN JOB NO: 2020-18</p>	<p>DRAWING NUMBER A-3</p>
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