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FEB 22 2023

PLANNING SERVICES

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SITE LEGEND

- DENOTES PROPERTY LINE
- DENOTES SETBACK LINE
- LSBL- DENOTES REQUIRED LANDSCAPE STRIP BOUNDARY LINE
- DENOTES CENTERLINE OF PROPOSED DRAINAGE DITCH
- DENOTES NEW 1800mm HIGH OPAQUE WOOD FENCE
- DC DENOTES NEW CURB HATCH DENOTES DROP CURB
- DENOTES NEW CONCRETE OR INTERLOCK PAVERS WALKWAY
- DENOTES NEW SOO OR LAWN SEEDING
- DENOTES NEW ASPHALT
- DENOTES NEW TREE PLANTING
- DENOTES EXISTING BUILDING
- DENOTES FUTURE BUILDING
- 1. DENOTES TYPICAL PARKING SPACE 2.75m x 6.0m
- 2. DENOTES BARRIER FREE PARKING SPACE 4.4m x 6.0m
- ➔ DENOTES BUILDING ENTRANCE

GENERAL NOTES:

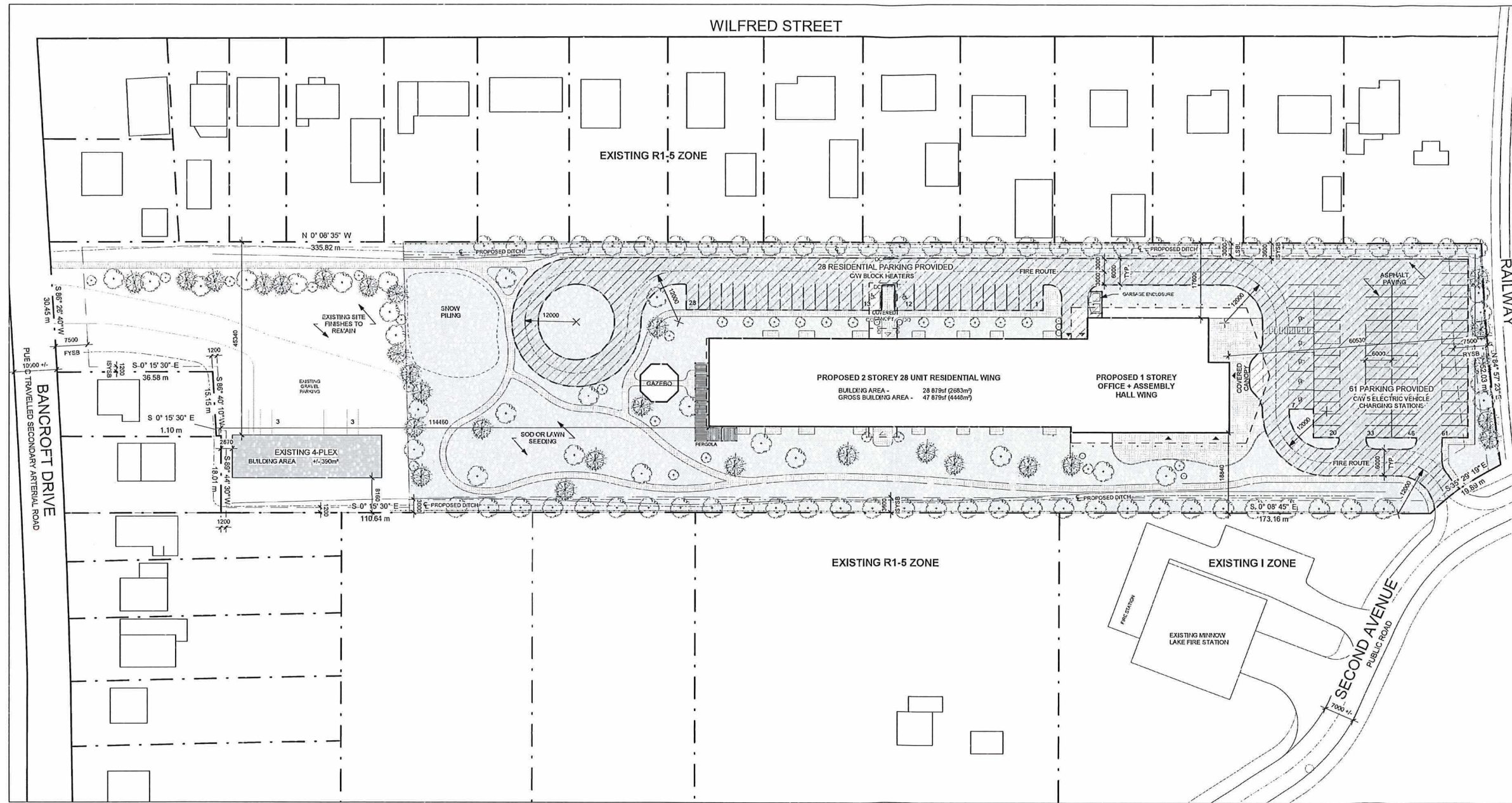
1. PROVIDE NEW 75mm WIDE (WHITE) LINE PAINTING ON ALL NEW ASPHALT.
2. ALL SIDEWALKS & PATHWAYS TO BE 1525mm MIN. WIDE UNLESS OTHERWISE NOTED.
3. CONTRACTOR TO LOCATE ALL UNDERGROUND SERVICES PRIOR TO COMMENCEMENT OF WORK.

BUILDING AREAS:

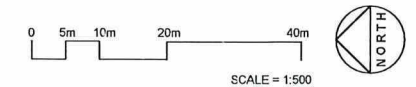
RESIDENTIAL WING - 1st FLOOR	19 034sf (1768.3m ²)
RESIDENTIAL WING - 2nd FLOOR	19 000sf (1765.2m ²)
RESIDENTIAL WING - TOTAL	38 034sf (3533.5m ²)
HALL AREA	4669sf (432.5m ²)
OFFICE AREA	1850sf (184m ²)
ACCESSORY CIRCULATION AREA	3178sf (295m ²)
OFFICE/HALL WING TOTAL	9845sf (914.5m ²)

BUILDING AREA -	28 879sf (2682.9m ²)
GROSS BUILDING AREA -	47 879sf (4448.1m ²)
No. OF 1 BEDROOM UNITS -	16 UNITS
No. OF 2 BEDROOM UNITS -	10 UNITS
No. OF 3 BEDROOM UNITS -	2 UNITS
TOTAL	28 UNITS

	CURRENT ZONING REQUIREMENTS	CURRENT ZONING PROVIDED	PROPOSED ZONING AMENDMENTS TO R3-1.03X(19)
PERMITTED/CURRENT USES	- BED & BREAKFAST - CONVENIENCE STORE - DAY CARE CENTRE - DUPLEX DWELLINGS - GROUP HOME TYPE 1 - MULTIPLE DWELLING - PERSONAL SERVICE SHOP - PRIVATE HOME DAYCARE - ROW DWELLING - SHARED HOUSING - SEMI-DETACHED DWELLING - SINGLE DETACHED DWELLING - STREET TOWNHOUSE DWELLING	- ROW DWELLING	IN ADDITION TO CURRENT PERMITTED USES: - ASSEMBLY HALL - OFFICES
MINIMUM LOT AREA	110m ² PER UNIT (28 + 4) = 3520m ²	20 005m ²	NO CHANGE
MINIMUM LOT FRONTAGE	16m	30.5m	NO CHANGE
MINIMUM LOT DEPTH	8.0m	3.6m	NO CHANGE
MINIMUM REQ'D FRONT YARD	6.0m	6.0m	NO CHANGE
MINIMUM REQ'D REAR YARD	7.5m	7.5m	NO CHANGE
MINIMUM REQ'D INTERIOR SIDE YARD	1.2m + 0.6m PER STOREY = 1.8m	1.2m + 0.6m PER STOREY = 1.8m	NO CHANGE
MAXIMUM LOT COVERAGE	50%	3096m ² / 20 005m ² = 15.5%	NO CHANGE
MINIMUM LANDSCAPED OPEN SPACE	30%	12 616.5m ² / 20 005m ² = 63%	NO CHANGE
MAXIMUM HEIGHT	2 STOREYS	2 STOREYS	NO CHANGE
CURRENT DENSITY	2 MULTIPLE DWELLINGS @ 30 UNITS MAX EACH	1 EXISTING BUILDING @ 4 UNITS / PROPOSED BUILDING @ 28 UNITS + OFFICES & ASSEMBLY HALL	ADDITION OF 230 OCCUPANCY IN ASSEMBLY HALL + 8 STAFF MAX.
RESIDENTIAL PARKING REQUIREMENTS	1.5 PARKING / RESIDENTIAL UNIT	1 PARKING / RESIDENTIAL UNIT	SEEKING RELIEF IN NUMBER OF PARKING REQUIRED



SITE PLAN - REZONING
1:500



011 PROJECT: 2022121161 - L'Arche Sudbury - New Build 7.2 Drawings 071 Design Current 21161 - L'Arche Sudbury - Final Design - NEW 011

DRAWINGS ARE NOT TO BE SCALED
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No.	Revision / Version:	Date:
1	ISSUED WITH REZONING APPLICATION	2022 10 31

3RDLINE.STUDIO
289 CEDAR STREET
SUDBURY, ON P3B 1H6
T 705.674.2300

L'ARCHE SUDBURY - NEW BUILD
2059 Bancroft Dr, Sudbury, ON P3B 1T1
SITE PLAN - REZONING

Date: 2022 10 31
Scale: 1:500
Drawn By: MK Checked By: AD
Project No: 21161
Drawing No: Rev: 1

SPA-1