



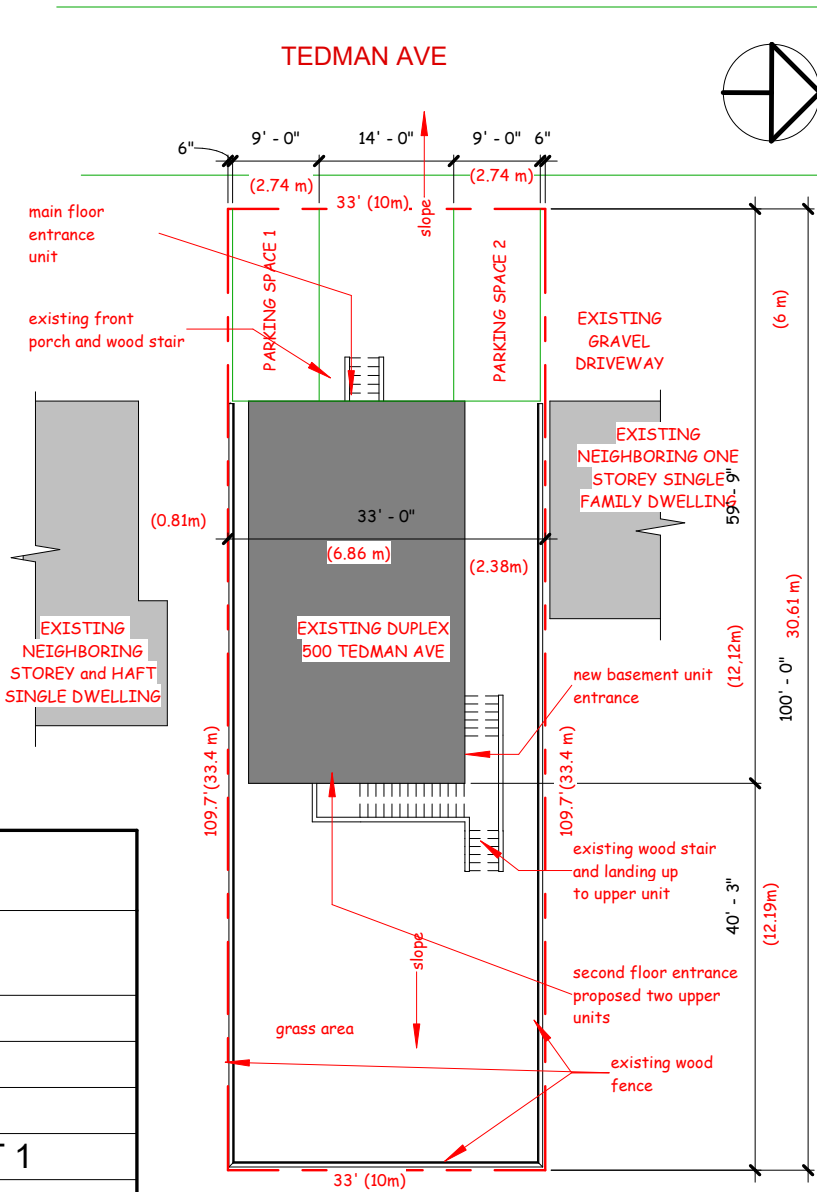
FRONT PHOTO 500 TEDMAN AVE



REAR PHOTO 500 TEDMAN



SIDE PHOTO 500 TEDMAN AVE



PLOT PLAN
1" = 20'-0"

OWNER NAME:
PROSPEROUS ENTERPRISES HOLDINGS LTD
LEGAL DESCRIPTION

500 TEDMAN AVE
PIN 021300080
PCL 3660 SEC SES LOT 905, PLAN M100
CITY OF SUDBURY

SITE DATA

EXISTING ZONING R2-2
PROPOSED RE ZONING R2-3 (4 UNITS)

LOT AREA: 3600 sq. ft.(334 m2)
BUILDING AREA: 866 sq. ft. (80.45m2)
BUILDING COVERAGE: 26 %
GROSS FLOOR AREA 866S.F. X 2 FLOORS = 1782 SF.(165.55m2)
BASEMENT UNIT 866 SF (80.45m2)
NO OF STOREYS: 2 STOREY + BASEMENT
NO OF DWELLING UNITS: 2 EXISTING
ONE UNIT -BASEMENT AND GROUND FLOOR
ONE UNIT -SECOND FLOOR LEVEL
PROPOSED DWELLING UNITS 4
ONE UNIT AT BASEMENT LEVEL
ONE UNIT AT GROUND FLOOR LEVEL
TWO UNITS SECOND FLOOR LEVEL
BUILDING CLASSIFICATION: C
BUILDING DEFINITION: HOUSE
PARKING REQUIRED 4-1 per DWELLING UNIT:
2 PROVIDED
MINOR VARIANCE APPLICATION
TO ALLOW 2 PARKING SPACES

DRAWING LEGEND	
Sheet Number	Sheet Name
A1	PLOT PLAN, PHOTOS
A2	ASSEMBLIES LEGEND
A3	BASEMENT PLAN UNIT 1
A4	MAIN FLOOR UNIT 2
A5	2 nd FLOOR PLAN UNITS 3 & 4
A6	SOUTH ELEVATION
A7	NORTH ELEVATION
A8	WEST ELEVATION
A9	GENERAL NOTES
A10	BUIDING SECTION
A11	code review

I, ALAIN MCCANN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN 13053
FIRM BCIN 35810

ALAIN MCCANN,

1582790 ONTARIO LTD O/A NORTH SOUTH STUDIO

PROJECT
FIRE RESTORATION -4 UNIT
APARTMENT
PROSPEROUS ENTERPRISES HOLDINGS LTD
500 TEDMAN AVE, SUDBURY

ON THIS SHEET
PLOT PLAN, PHOTOS

DRAWN PRP

CHECKED AM

DATE 10/01/22

SCALE 1" = 20'-0"

PROJECT #
16-22

DRAWING

A1

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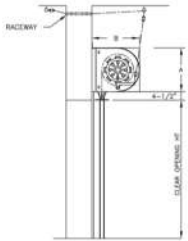
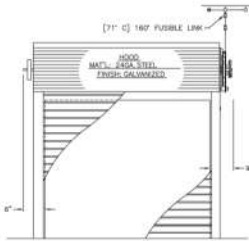
A1

ASSEMBLIES LEGEND

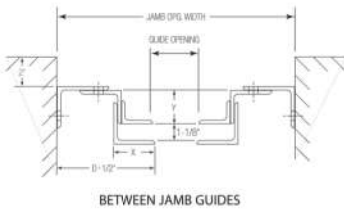
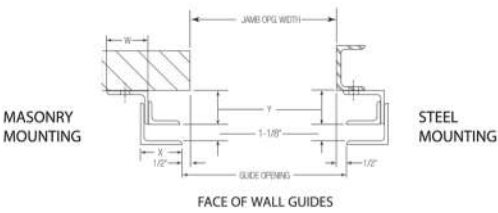
	TAG	DESCRIPTION	NOTES
INTERIOR WALLS	W1	1/2" GYPSUM WALL BOARD 2" X 4" WOOD STUDS AT 16" O.C. (EXISTING) 1/2" GYPSUM WALL BOARD	EXISTING 2" X 4" NON RATED INTERIOR STUD WALL TO REMAIN
	FR2	5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD 2" X 6" STUD WALL AT 16" O.C. (EXISTING) 5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD	(1) RATED STRUCTURAL WALL SUPPORTING FIRE SEPARATION. ASSEMBLY W1d OF SB-3 FIRE RESISTANCE RATING LOADBEARING 1 HOUR NON-LOADBEARING 1 HOUR
	FR1	5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD 2" X 4" WOOD STUDS AT 16" O.C. (EXISTING) 5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD	NON LOAD BEARING 2 X 4 FIRE RATED WALL ASSEMBLY W1d OF SB-3 OF SB3 1 HOUR
	FS1	5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD 5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD 2" X 6" WOOD STUDS AT 16" O.C. (EXISTING) 5" SOUND ABSORPTIVE MATERIAL METAL RESILIENT CHANNELS @ 16" O.C.	FIRE SEPARATION RATED WALL ASSEMBLY W5d OF SB3 LOADBEARING 45min NON-LOADBEARING 45min
	FS2	PREFINISHED COMBUSTIBLE SIDING (EXISTING) 7/16" OSB PARTICLE BOARD WALL SHEATHING (EXT.) 1/2" TYPE 'X' FIRE RESISTANT EXT. GYPSUM BOARD 2" X 6" WOOD STUDS AT 16" O.C. (EXT.) (EXT.) R24 BATT INSULATION NEW 6 MIL. POLY VAPOUR BARRIER NEW 5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD NEW	45 MIN FIRE RATED WALL ASSEMBLY EW2c OF SB-3
FOUNDATION WALLS	FN6	DAMP-PROOFING 2 COATS (EXT.) 10" CONCRETE BLOCK (EXT.) BUILDING PAPER (EXT.) 2" X 6" WOOD STUDS AT 16" O.C. (EXT.) R13 BATT INSULATION NEW 6 MIL. POLY VAPOUR BARRIER NEW 1/2" GYPSUM WALL BOARD NEW	EXISTING FOUNDATION WALL AND 2 X 4 STRAPPING
	FS4	EXISTING 5/8" T&G PLYWOOD SUBFLOOR 2" X 12" ROOF JOISTS SPACING AS PER PLANS SOUND ABSORPTIVE IN CAVITY STC 53 2" X 12" ROOF JOISTS SPACING AS PER PLANS METAL RESILIENT CHANNELS @ 16" O.C. 5/8" TYPE 'X' FIRE RESISTENT GYPSUM BOARD	FLOOR ASSEMBLY ABOVE: 1 HR FR SB-3 F10e PROVIDE 1 HOUR FIRE RESISTANCE RATING
FLOORS	F3	EXISTING CONCRETE FLOOR SLAB	
ROOF	R1	NEW ROOF 25 YEAR ASPHALT SHINGLES WITH ICE& WATERSHIELD AND VALLEY PROTECTION (EXT.) ICE AND WATER SHIELD EAVE PROTECTION (EXT.) 7/16" OSB PARTICLE BOARD ROOF SHEATHING W/ H CLIPS PRE ENGINEERED TRUSSE(EXT.) R 61 BATT INSULATION NEW 6 mill POLY VAPOUR BARRIER NEW METAL RESILIENT CHANNELS @ 26"O.C. NEW 5/8" TYPE X GYPSUM BOARD NEW	SEE MANUFACTURES DESIGN FOR TRUSS LAYOUT

STAY OPEN FIRE DOOR DETAILS

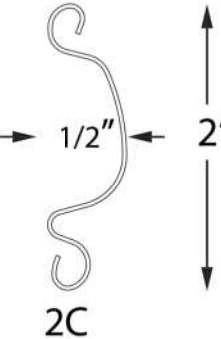
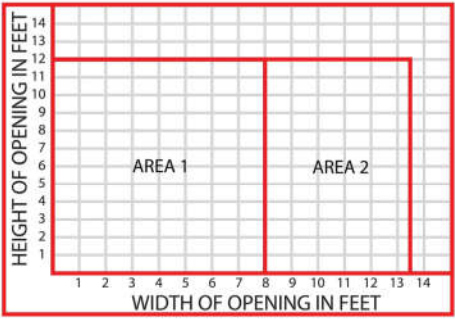
TYPICAL DETAILS



GUIDE DETAILS



AREA CHART



DOOR CLEARANCE CHART

		Dimensions in Inches						
Area	Slat	A	B	D	W	X	Y	
1	2C	13"	14"	6"	2 1/2"	2 1/2"	2 1/2"	
2	2C	13"	14"	6"	2 1/2"	3"	2 1/2"	

Available in sizes up to 13' 6" wide x 12' 0" high
Consult factory for oversize doors



SERVICE DOOR INDUSTRIES LIMITED
1340 MID-WAY BLVD., MISSISSAUGA,
ONTARIO, CANADA L5T 2G8
TEL (905) 670-1200 FAX (905) 670-8830
sales@servicedoor.com

I, ALAIN MCCANN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN 13053
FIRM BCIN 35810
ALAIN MCCANN,
1582790 ONTARIO LTD O/A NORTH SOUTH STUDIO

PROJECT
FIRE RESTORATION -4 UNIT
APARTMENT
PROSPEROUS ENTERPRISES HOLDINGS LTD
500 TEDMAN AVE, SUDBURY

ON THIS SHEET
ASSEMBLIES LEGEND

DRAWN Author
CHECKED Checker
DATE 01/05/22
SCALE 1/2" = 1'-0"

PROJECT #
16-22
DRAWING
A2

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A2

REMOVE EXISTING FRAMED WALL
AT THIS LOCATION

20 MIN RATED
METAL WINDOWS WITH WIRED GLASS

FFR 1H PROVIDE 2 LAYERS
5/8" TYPE X GYPSUM BOARD
UNDER
EXISTING STAIR CASE AND LANDING
STAIR, LANDING AND HANDRAIL TO
CONFORM WITH OBC 9.8

EXISTING STAIR TO BE FIRE RATED
BELOW STAIR STINGERS WITH :
5/8" TYPE X GYPSUM BOARD
RESILIENT METAL CHANNEL @ 16 O.C.
ABSORPTIVE MATERIAL IN CAVITY

EXISTING WOOD STAIR and HANDRAIL
ABOVE TO CONFORM WITH DIV. B,
SECTION 9.8 OF THE 2012 OBC

5/8" TYPE X GYPSUM BOARD ON BOTH SIDES
EXISTING 2 X 4 STUD TO MAINTAIN FFR 1 HR

PROVIDE
SPRINKLER HEAD
ABOVE WINDOW DUE TO CLOSE
PROXIMITY OF WOOD STAIRCASE

MOVE EXISTING WATER HEATER
TO THIS LOCATION

UNIT 1

NEW LIVING/KITCHEN
11' - 10" 249.9 SF

EXISTING HYDRO PANELS

EXISTING 4 - 2" X 8" WOOD BEAM AND
SUPPORTING POST TO RECEIVE 2 LAYERS OF
5/8" TYPE X FIRE RESISTANT GYPSUM BOARD

ELECTRICAL ROOM
40.0 SF

EX. 4 - 2" X 10" WD. BM.

2 X 6 LOAD BEARING WALL
1 HR FFR (SB-3W1D)
5/8" TYPE X GYPSUM BOARD
2X6 @ 16" O.C.
5/8" TYPE X GYPSUM BOARD

BEDROOM
122.3 SF

ELECTRIC
INTERCONNECTED
SMOKE AND C.O.
DETECTOR W/
VISUAL COMPONENT

FLOOR ASSEMBLY ABOVE: 1 HR FR SB-3 F10c
PROVIDE
5/8" TYPE X GYPSUM BOARD
RESILIENT METAL CHANNEL @ 16 O.C.
ABSORPTIVE MATERIAL IN CAVITY
EXISTING 2 X 10 @ 16 O.C.
EXISTING 5/8" PLYWOOD SUBFLOOR
FLOOR FINISH AS PER OWNERS SELECTION

NEW BEDROOM
101.7 SF

FORMERLY LAUNDRY ROOM

ELECTRIC
INTERCONNECTED
SMOKE AND C.O.
DETECTOR W/
VISUAL COMPONENT

BATH ROOM
58.2 SF

MECHANICAL ROOM
110.1 SF

EXISTING
WATER HEATER

EXISTING
WATER HEATER

MOVE DRYER AND WASHING MACHINE
HOOK UP (WATER LINES AND ELECTRICAL)
TO THIS LOCATION

IF INTEGRITY OF HORIZONTAL FIRE
SEPARATION IS NOT POSSIBLE AROUND
FURNACE AREA DUE TO EXCESSIVE
MECHANICAL COMPONENTS, PROVIDE NEW
SPRINKLER HEAD AS INDICATED.

TYPICAL FOUNDATION
EXISTING 10" CONCRETE BLOCK
EXISTING #15 BUILDING PAPER
EXISTING 2 X 4 WOOD STUDS
NEW R20 BATT INSULATION
NEW 6 MIL POLY VAPOR BARRIER
1/2" GYPSUM BOARD

SAW CUT 48" X 24" ROUGH OPENING
INTO PROVIDE NEW SLIDING WINDOW
c/w 3 - 2" X 10" lintel above

BASEMENT PLAN
1/4" = 1'-0"

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PROJECT
FIRE RESTORATION -4 UNIT
APARTMENT
PROSPEROUS ENTERPRISES HOLDINGS LTD
500 TEDMAN AVE, SUDBURY

ON THIS SHEET
BASEMENT PLAN UNIT 1

DRAWN PRP

CHECKED AM

DATE 12/27/21

SCALE 1/4" = 1'-0"

PROJECT #

16-22

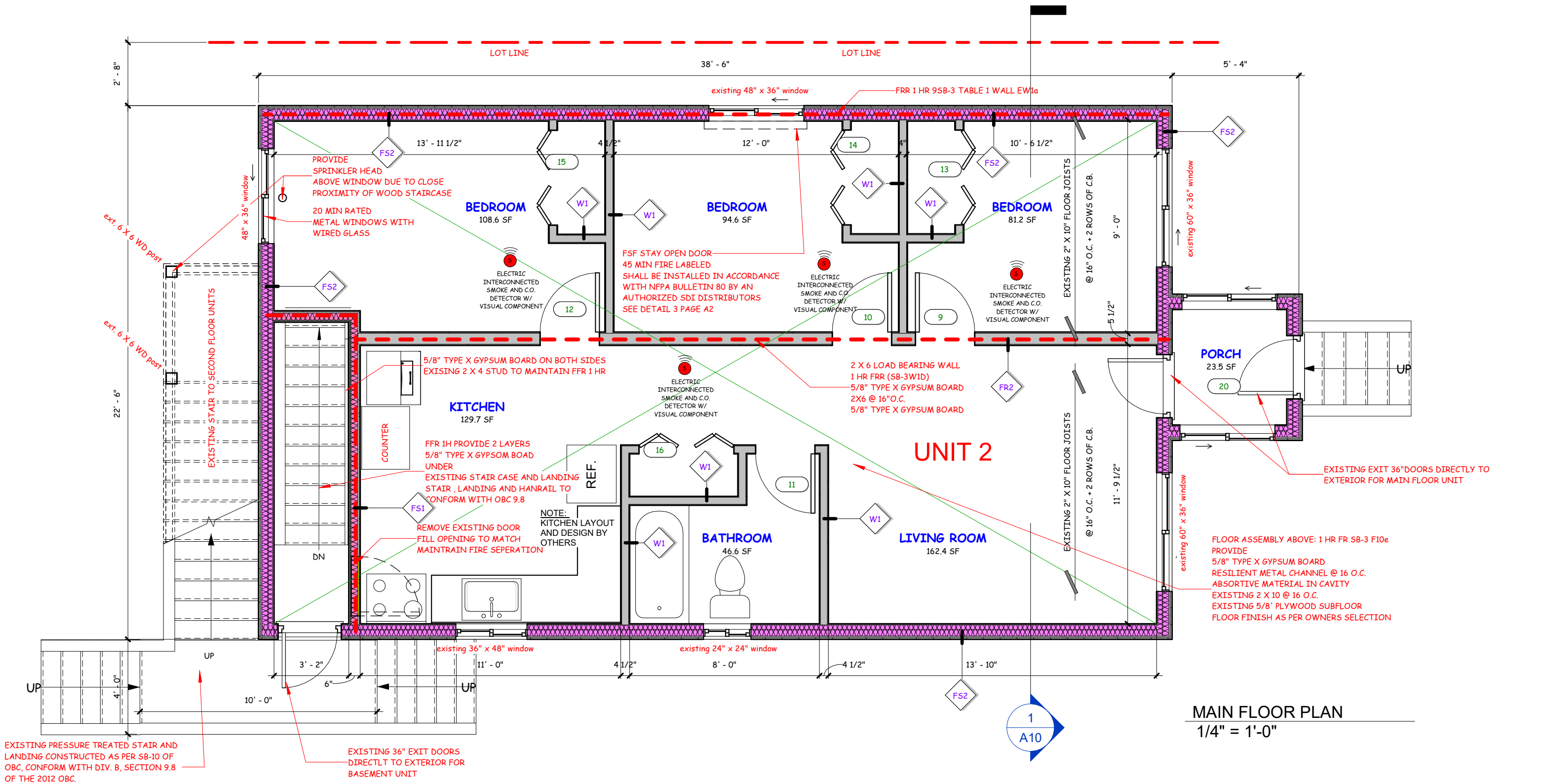
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A3



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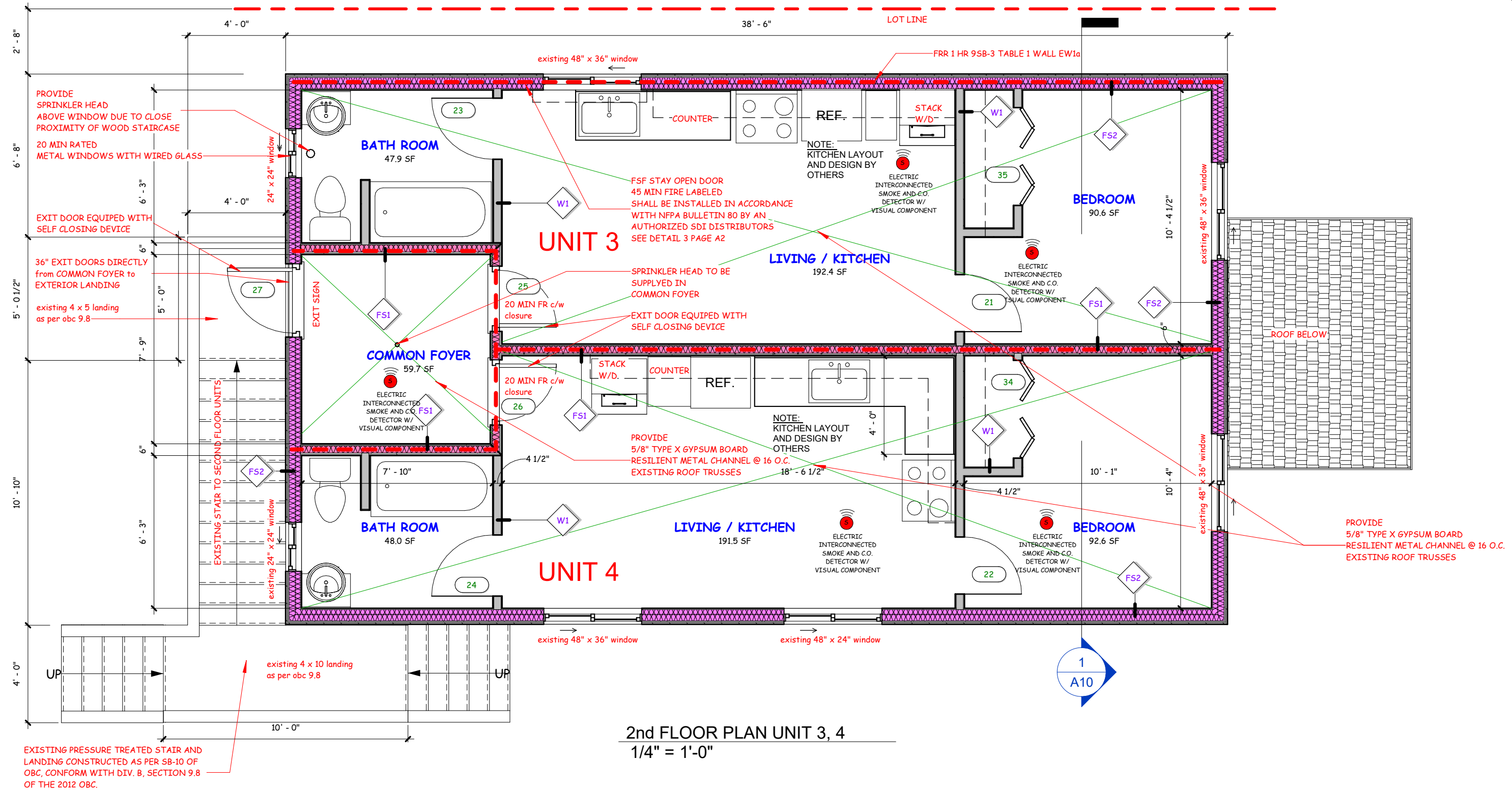


A3



MAIN FLOOR PLAN
1/4" = 1'-0"

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	<div>CHECKED Checker</div>				
	<div>ON THIS SHEET MAIN FLOOR UNIT 2</div>	<div>DATE 12/31/21</div>	<div>DRAWING A4</div>		
	<div>SCALE 1/4" = 1'-0"</div>				



2nd FLOOR PLAN UNIT 3, 4
1/4" = 1'-0"

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FIRE RESTORATION -4 UNIT APARTMENT
PROSPEROUS ENTERPRISES HOLDINGS LTD
500 TEDMAN AVE, SUDBURY

ON THIS SHEET
2 nd FLOOR PLAN UNITS 3 & 4

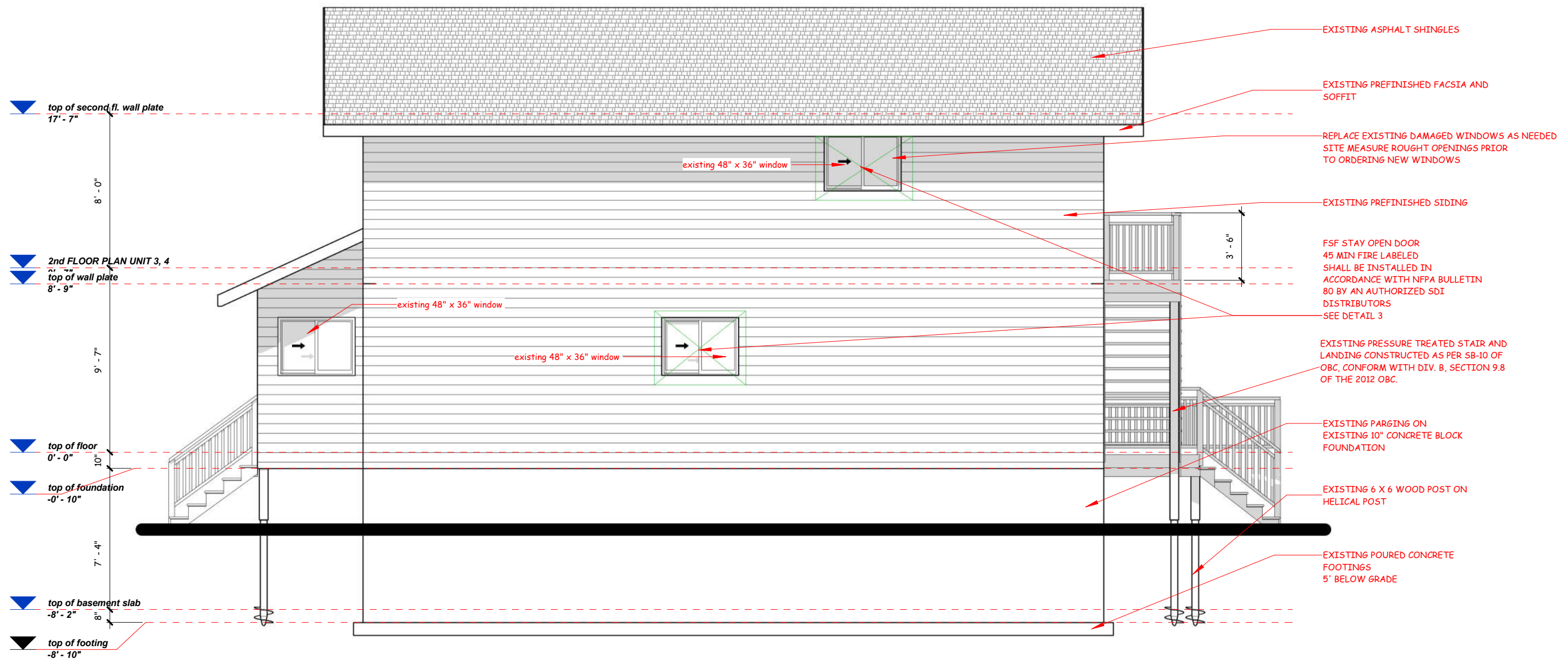
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CHECKED	Checker	16-22
DATE	01/04/22	DRAWING
SCALE	1/4" = 1'-0"	A5

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North South Studio
YOUR HOME IS OUR PASSION


A5



SOUTH ELEVATION
3/16" = 1'-0"

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SOUTH ELEVATION

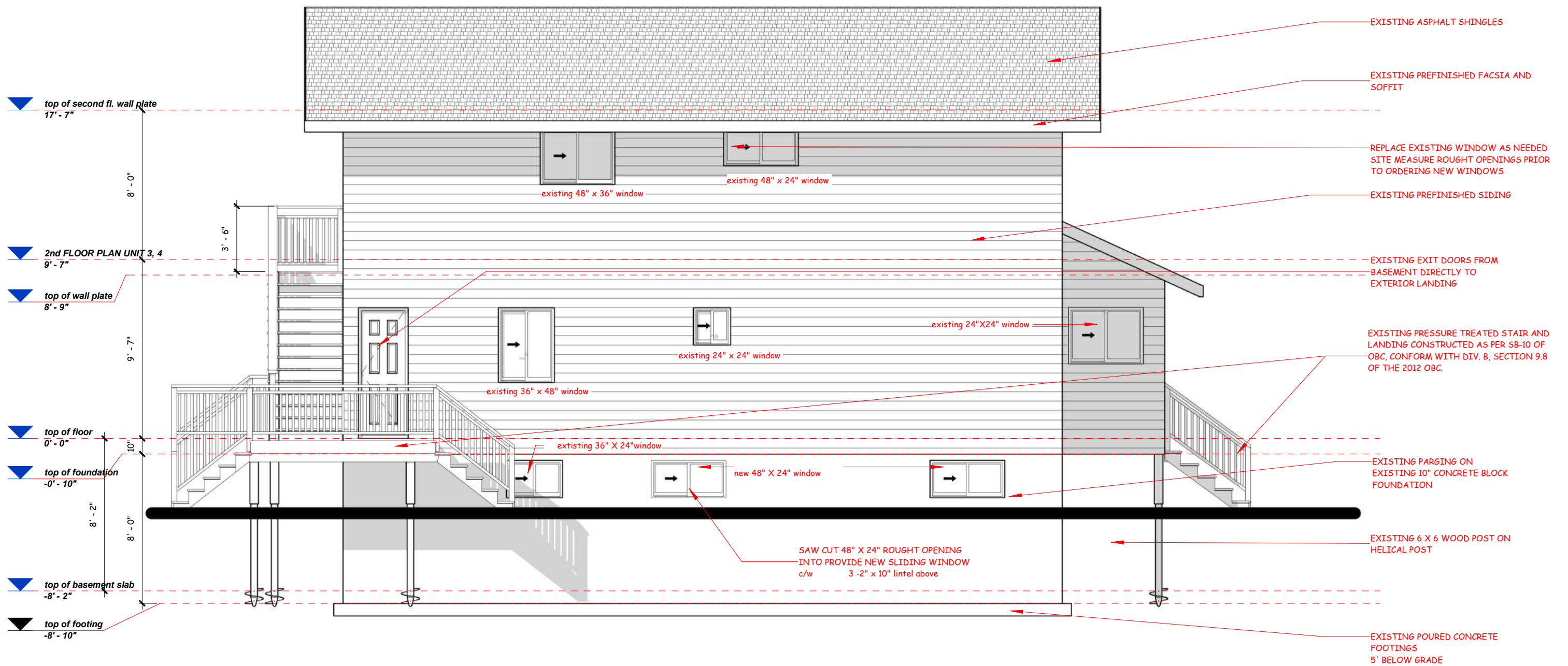
DRAWN	Author	PROJECT #
CHECKED	Checker	16-22
DATE	01/05/22	DRAWING
SCALE	3/16" = 1'-0"	A6

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North South Studio
YOUR HOME IS OUR PASSION

A6



NORTH ELEVATION
3/16" = 1'-0"

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ON THIS SHEET
NORTH ELEVATION

DRAWN Author

CHECKED Checker

DATE 01/05/22

SCALE 3/16" = 1'-0"

PROJECT #
16-22

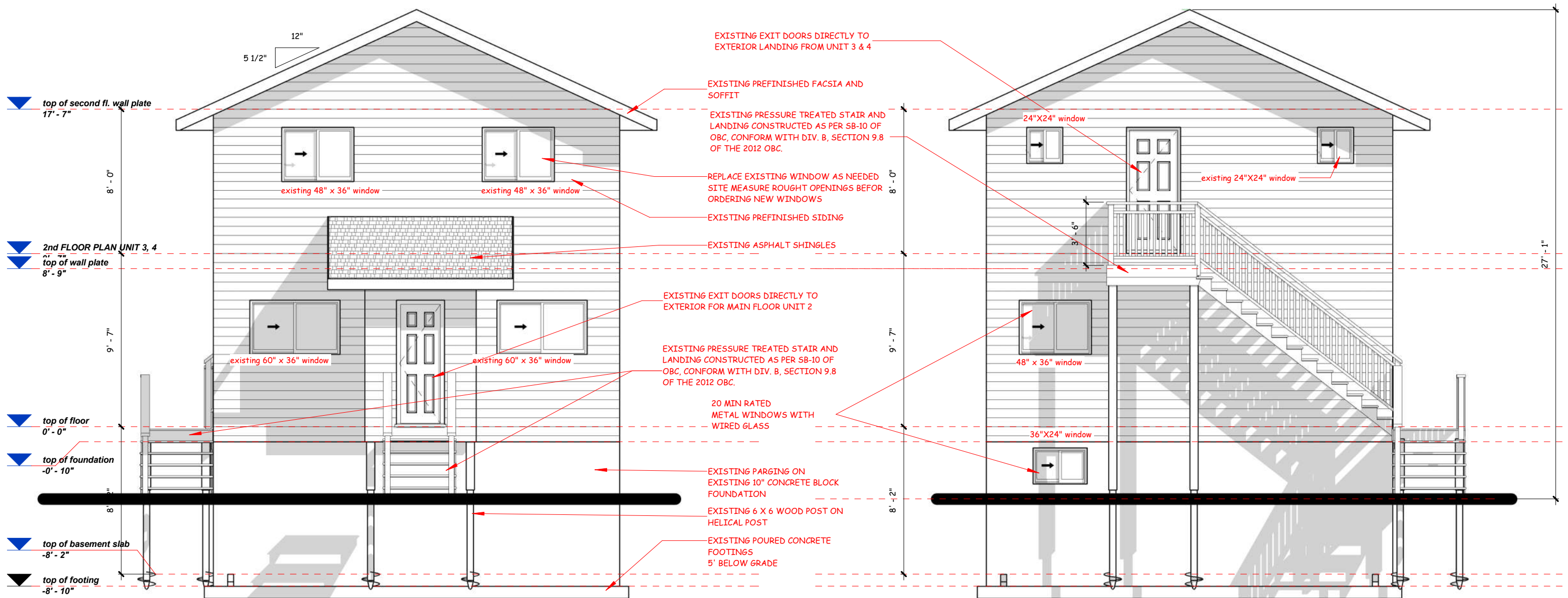
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A7



WEST ELEVATION
3/16" = 1'-0"

EAST ELEVATION
3/16" = 1'-0"

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ON THIS SHEET
WEST ELEVATION

DRAWN Author

CHECKED Checker

DATE 01/05/22

SCALE 3/16" = 1'-0"

PROJECT #

16-22

DRAWING

A8

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A8

CONSTRUCTION NOTES

-ALL CONSTRUCTION TO CONFORM TO THE ONTARIO BUILDING CODE (OBC) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION
-ALL DIMENSIONS GIVEN FIRST IN IMPERIAL FOLLOWED BY METRIC
-THESE NOTES ARE TO BE READ AS A GENERAL REFERENCE ONLY AND MAY DIFER SLIGHTLY FROM THE NOTES AND DETAILS SHOWN ON THE PLANS, ELEVATIONS, SECTIONS AND DETAILS. IN THE CASE OF VARIANCES BETWEEN THESE NOTES AND THE DRAWINGS, THE DRAWINGS SHALL PREVAIL

DRAINAGE TILE OR PIPE

-MATERIALS SHALL CONFORM TO OBC- 9.14.3.1
-4" (100mm) MIN. DIA.
-LAID ON UNDISTURBED OR WELL COMPACTED SOIL
-TOP OF TILE OR PIPE TO BE BELOW BTM. OF FLR. SLAB
-COVER TOP & SIDES OF TILE OR PIPE W/ 6" (150mm) OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL
-TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL

SILL PLATE

-2" X 4" (38mm X 89mm) PLATE
-1/2" (13mm) DIA. ANCHOR BOLTS @ 7'-10" (2.4m) O.C. FASTENED TO PLATE W/ NUTS AND WASHERS & SHALL BE EMBEDDED NOT LESS THAN 4" (100mm) INTO FDN WALL
-SILL PLATE TO BE CAULKED OR PLACED ON A LAYER OF MINERAL WOOL OR FOAM GASKET NOT LESS THAN 1" (25mm) THICK BEFORE COMPRESSING, OR PLACED ON FULL BED OF MORTAR

BRIDGING

a) STRAPPING
-1" X 3" (19mmX 64mm) NAILED TO U/S OF JOISTS @ MAX. 6'-11" (2.1m) O.C.
-FASTED TO SILL OR HEADER @ ENDS
b) BRIDGING
-1" X 3" (19mmX 64mm) OR 2" X 2" (38mmX 38mm) CROSS BRIDGING @ MAX. 6'-11" (2.1m) O.C.
c) BRIDGING & STRAPPING
- a) & b) USED TOGETHER OR
-1-1/2" (38mm) SOLID BLOCKING @ MAX. 6'-11" (2.1m) O.C. USED WITH STRAPPING (a)

MISCELLANEOUS

-WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR
-CAPPED DRYER VENT OBC- 9.32.1.3(3)

-WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE OR No.15 ROLL ROOFING

SMOKE ALARM/C.O. DETECTOR, OBC- 9.10.18

-LOCATION AS PER PLANS (MAX. 16'-5" (5m) FROM BEDROOMS) CONNECTING THE FLOOR LEVELS
-ALARMS TO BE CONNECTED IN CIRCUIT AND INTERCONNECTED SO ALL ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS
-ALL ALARMS TO HAVE AUDIBLE AND VISUAL COMPONENT AS PRESCRIBED BY ONTARIO BUILDING CODE

FRAME CONSTRUCTION

-ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE
-JOISTS TO HAVE MIN. 1-1/2" (38mm) END BEARING
-BEAMS TO HAVE MIN. 3-1/2" (89mm) END BEARING
-DOUBLE STUDS @ OPENINGS
-DOUBLE RIM JOISTS WHICH SUPPORT LINTELS IN EXT. WALLS
-DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 3'-11" (1.2m) AND 10'-6" (3.2m)
-DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 6'-7" (2.0m)
-DOUBLE JOISTS UNDER PARALLEL PARTITIONS
-BEAM TO BE PLACED UNDER LOADBEARING WALL WHEN WALL IS PARALLEL TO FLOOR JOISTS
-BEAM MAY BE A MAX. 24" (600mm) FROM A LOADBEARING WALL WHEN THAT WALL IS PERPENDICULAR TO FLOOR JOISTS
-METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 15 3/4" (400mm) BEYOND SUPPORTS FOR 2" X 8" (38mm X 184mm)
-FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 23 5/8" (600mm) BEYOND SUPPORTS FOR 2" X 10" (38mm X 235mm) OR LARGER

ATTIC ACCESS HATCH

-20" X 28" (500mmX 700mm) ATTIC HATCH WITH WEATHERSTRIPPING & BACKED W/ R31 (RSI 31) INSULATION

STAIRS

-MAX. RISE = 7-7/8" (200mm)
-MIN. RUN = 8-1/4" (210mm)
-MIN. TREAD = 9-1/4" (235mm)
-MAX. NOSING = 1" (25mm)
-MIN. HEADROOM = 6'-5" (1950mm)
-RAIL @ LANDING = 2'-7" (800mm)
-RAIL @ STAIR = 2'-7" (800mm)
-MIN. WIDTH = 2'-10" (860mm) (BETWEEN WALL FACES)
-MIN. WIDTH = 2'-11" (900mm) (EXIT STAIRS, BETWEEN GUARDS)
FOR CURVED STAIRS
-MIN. RUN = 5-7/8" (150mm)
-MIN. AVG. RUN = 7-7/8" (200mm)
-FIN. RAILING ON WOOD PICKETS MAX. 4" BETWEEN PICKETS
-EXT. CONC. STEPS TO HAVE 10"(254mm) RUN & 8"(200mm) RISE
-FDN. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
-FTG. FOR FDN. WALL TO BE MIN. 4'-0" (1.22mm) BELOW GRADE

GUARD

-GUARD TO BE 3'-6" (1070mm) HIGH FOR FLOOR TO FLOOR/GRADE HEIGHTS GREATER THAN 5'11" (1.8m)
-GUARDS TO BE 2'-11" (900mm) FOR HEIGHTS LESS THAN 1.8M 5'-11" (1.8m)
-PICKETS TO HAVE 4" (100mm) MAX. SPACING

EXTERIOR GUARDS

-3'-0" HIGH PAINTED WOOD HANDRAIL W/ 2"x2" PAINTED WOOD PICKETS W/ MAXIMUM 4" OPENING BETWEEN PICKETS
-RAILING TO 3'-6" HIGH WHERE ADJACENT GRADE IS MORE THAN 5'-11" ABOVE GRADE
-PROVIDE 4"x4" PAINTED WOOD POSTS IN BETWEEN COLUMNS THAT EXCEED 4'-0"
-CONSTRUCTION REQUIREMENT FOR GUARDS TO CONFORM W/ SECTION SG-7 OF THE SUPPLEMENTARY GUIDELINES TO THE 1997 OBC
-LINEN CLOSET 4 SHELVES MIN. 1'-2" (350mm) DEEP

SYMBOL LEGEND

DJ

EX POST

S.B.

6 x 6 PT POST

6x8 POST

BP

L1

1i

1i

101

DOUBLE JOIST

4" X 4" X 3/16" HOLLOW STEEL STRUCTURE W/ 6" X 6" X 1/4" TOP AND BOTTOM PLATES

SOLID BLOCKING WIDTH TO MATCH ELEMENT SUPPORTED DEPTH TO MATCH WALL (2" X 4" , 2" X 6")

6" X 6" POST

8" X 8" POST

BEAM POCKET SIZE TO MATCH BEAM WIDTH AND DEPTH

LINTEL TAG

WALL TAG

WINDOW TAG

DOOR TAG

NFHB

CLG

EAVE

GFI

WP GFI

ST

D

S³

NON-FREEZE HOSE BIB

CEILING RECEPTACLE

EXTERIOR EAVE RECEPTACLE

GROUND FAULT INTERUPTER RECEPTACLE

EXTERIOR GROUND FAULT INTERUPTER RECEPTACLE IN WATERPROOF BOX

220 VOLT STOVE RECEPTACLE

220 VOLT DRYER RECEPTACLE

STANDARD LIGHT SWITCH

THREE WAY LIGHT SWITCH

INTAKE OR EXHAUST OUTLET - TYPE AS NOTED ON PLANS

Distance

Room name

RL X RW

1

A101

SECTION CALLOUT

2

A12

DETAIL CALLOUT

LEVEL CALLOUT

1

View Name

1/8" = 1'-0"

VIEW NAME NUMBER AND SCALE

2" X 10" FLOOR JOISTS ABOVE

@ 16" O.C. + 2 ROWS OF C.B.

STRUCTURAL COMPONENT SPAN DIRECTION AND EXTENT

I, ALAIN MCCANN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN 13053
FIRM BCIN 35810

ALAIN MCCANN,

1582790 ONTARIO LTD O/A NORTH SOUTH STUDIO

PROJECT
FIRE RESTORATION -4 UNIT
APARTMENT
PROSPEROUS ENTERPRISES HOLDINGS LTD
500 TEDMAN AVE, SUDBURY

ON THIS SHEET
GENERAL NOTES

DRAWN Author

CHECKED Checker

DATE 01/05/22

SCALE 1/4" = 1'-0"

PROJECT #

16-22

DRAWING

A9

WWW.NORTHSOUTHSTUDIO.ONLINE



A9

Firm Name:

1582790 Ontario Ltd o/a McCann Consulting Group

218 Decosse Road. St-Charles, ON. POM2W0

Individual BCIN: 13053

Firm BCIN: 35810

Name of Project:

Fire damage repair and unit legalization

Location:

500 Tedman,, Sudbury, Ontario

I, ALAIN MCCANN DECLARE THAT I REVIEW AND TAKE RESPONSIBILITY FOR THE DESIGN WORK ON BEHALF OF A FIRM REGISTERED UNDER SUBSECTION 2.17.4. OF THE BUILDING CODE. I AM QUALIFIED AND THE FIRM IS REGISTERED, IN THE APPROPRIATE CLASSES/CATEGORIES

INDIVIDUAL BCIN13053

FIRM BCIN35810



ALAIN MCCANN, PRESIDENT
1582790 ONTARIO LTD O/A MCCANN CONSULTING GROUP

Ontario Building Code Data Matrix – Part 11 – Renovation of Existing Building				OBC Reference
11.1	Existing Building classification:	Describe Existing Construction Index: <u>Group C (Dwelling Units)</u> Hazard Index: <u>No change</u> X Not Applicable (no change of major occupancy)		11.2.1 T 11.2.1.1A T 11.2.1.1B to N
11.2	Alteration to Existing Building is:	Basic Renovation <input type="checkbox"/> Extensive Renovation X		11.3.3.1 11.3.3.2
11.3	Reduction in Performance Level:	Structural: By Increase in occupant load: By change of major occupancy: Plumbing: Sewage-system:	<div><div>X No <input type="checkbox"/> No X No <input type="checkbox"/> No X No</div><div><input type="checkbox"/> Yes X Yes <input type="checkbox"/> Yes X Yes <input type="checkbox"/> Yes</div></div>	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	Compensating Construction:	Structural X No <input type="checkbox"/> Yes (explain) <div></div> Increase in occupant load: <input type="checkbox"/> No X Yes (explain) <div>Increase in occupant load does not affect the performance level of the building and systems</div>		11.4.3 11.4.3.2 11.4.3.3

		Change of major occupancy: X No <input type="checkbox"/> Yes (explain) <div>No change in major occupancy</div>	11.4.3.4
		Plumbing: <input type="checkbox"/> No X Yes (explain) <div>All new plumbing to conform to Part 7 of OBC</div>	11.4.3.5
		Sewage System: X No <input type="checkbox"/> Yes (explain) <div>N/A</div>	11.4.3.6
11.5	Compliance Alternatives Proposed:	<input type="checkbox"/> No X Yes (give number(s)) C152(a) - 30 minute horizontal fire separation between units permitted. C153(a) - 30 minute vertical fire separation between units permitted. C187 – All framing in existing building is acceptable as per compliance alternative C107 - Where windows are not used as a <i>means of egress</i> and where they do not conflict with ventilation requirements, the minimum glass areas as shown in Table 9.7.2.3. may be reduced by 50%,	11.5.1
11.6	Alternative Measures Proposed:	X No <input type="checkbox"/> Yes (explain) _____ _____	11.5.2