



Nickel District Conservation Authority
401 – 199 rue Larch Street
Sudbury, ON P3E 5P9
705-674-5249
ConservationSudbury.ca

April 3, 2023

Conservation Sudbury File 30170

City of Greater Sudbury
200 Brady Street
Sudbury, ON P3A 5P3

Attn: Mauro Manzon, Senior Development Planner

Re: Extension of Temporary Use By-law, 751-7/23-003
944 Radar Rd, Hanmer
Michael and Johanne Banks

Conservation Sudbury staff has reviewed the above-noted application to extend a temporary use by-law identified as T11 in Zoning By-law 2010-100Z. The extension would permit the continued use of a mobile home as a garden suite for a maximum period of three years.

Staff has reviewed this application as per our delegated responsibility from the Province to represent provincial interests regarding natural hazards identified in Section 3.1 of the Provincial Policy Statement, 2020 (PPS) and as a regulatory authority under Ontario Regulation 156/06. The application has also been reviewed through our role as a public body under the *Planning Act* as per our CA Board approved policies.

Recommendation

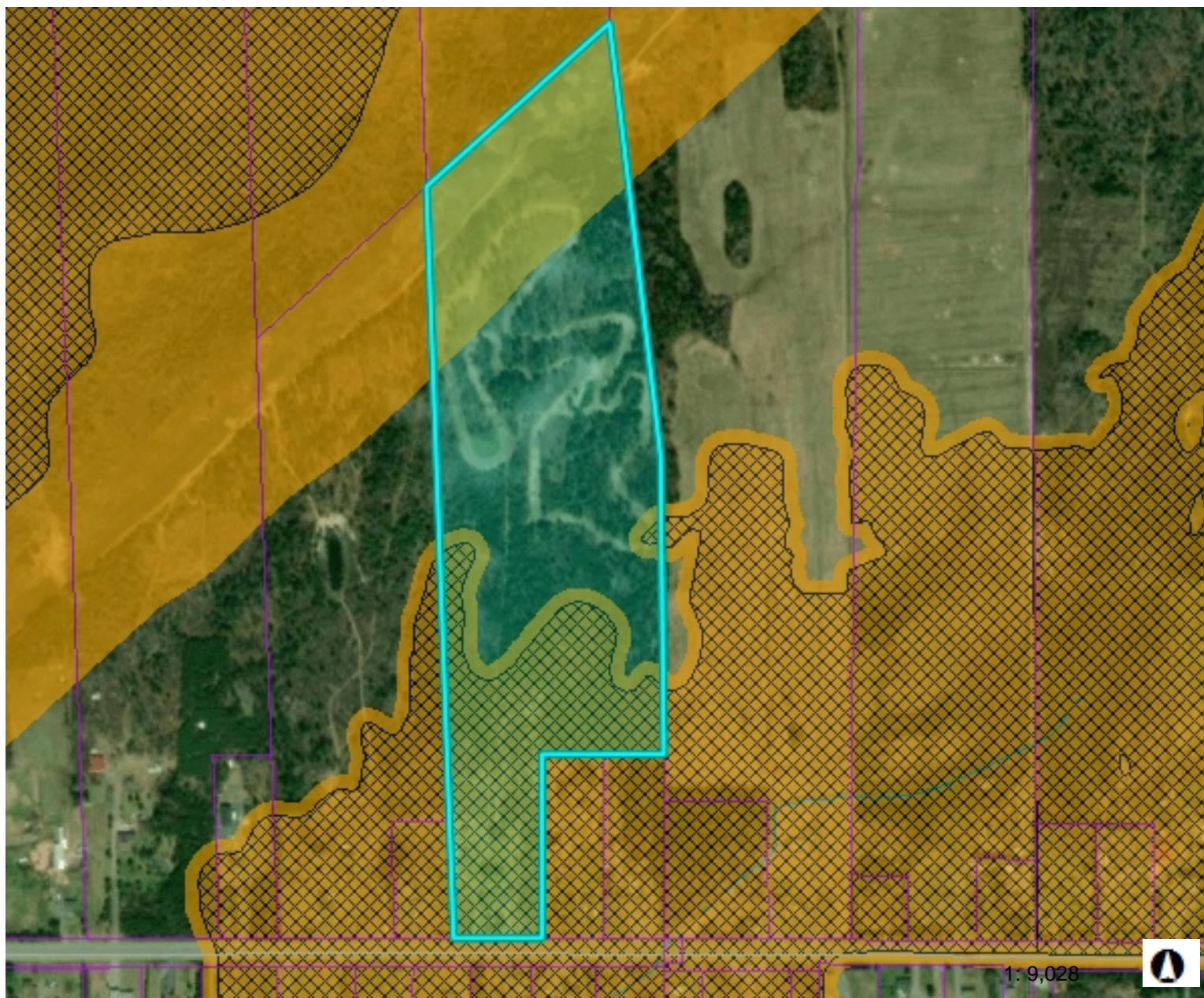
Conservation Sudbury does not oppose extension of the temporary use by-law for the mobile home at 944 Radar Rd (751-7/23-003).

It should be noted that Conservation Sudbury will be looking at our policies regarding garden suites and may in the future require floodproofing verification at the time of temporary use by-law extensions.















Sincerely,

Melanie Venne, MES
Office and Communication Coordinator
Melanie.Venne@ConservationSudbury.ca

Enclosure (1)



Legend

-  NDCA Jurisdiction
-  Parcels (File No)
-  Roads_CGS_2022
-  Floodplain
-  JC_TimmingsFloodplainMap_2022
-  Watercourse
-  Regulation Limits
-  Municipal Boundary (CGS)
-  World Imagery
-  Low Resolution 15m Imagery
-  High Resolution 60cm Imagery
-  High Resolution 30cm Imagery
-  Citations
-  2.4m Resolution Metadata

Notes

Based on ground condition and floodplain mapping, a portion of the property would be subject to flooding. Permission must be obtained from Conservation Sudbury under Ontario Regulation 156/06 for any addition to existing structure, new structures, placement or removal of fill, site grading or alteration to watercourses within the Regulated Area.

0.5 0 0.23 0.5 Kilometers

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1: 9,028

