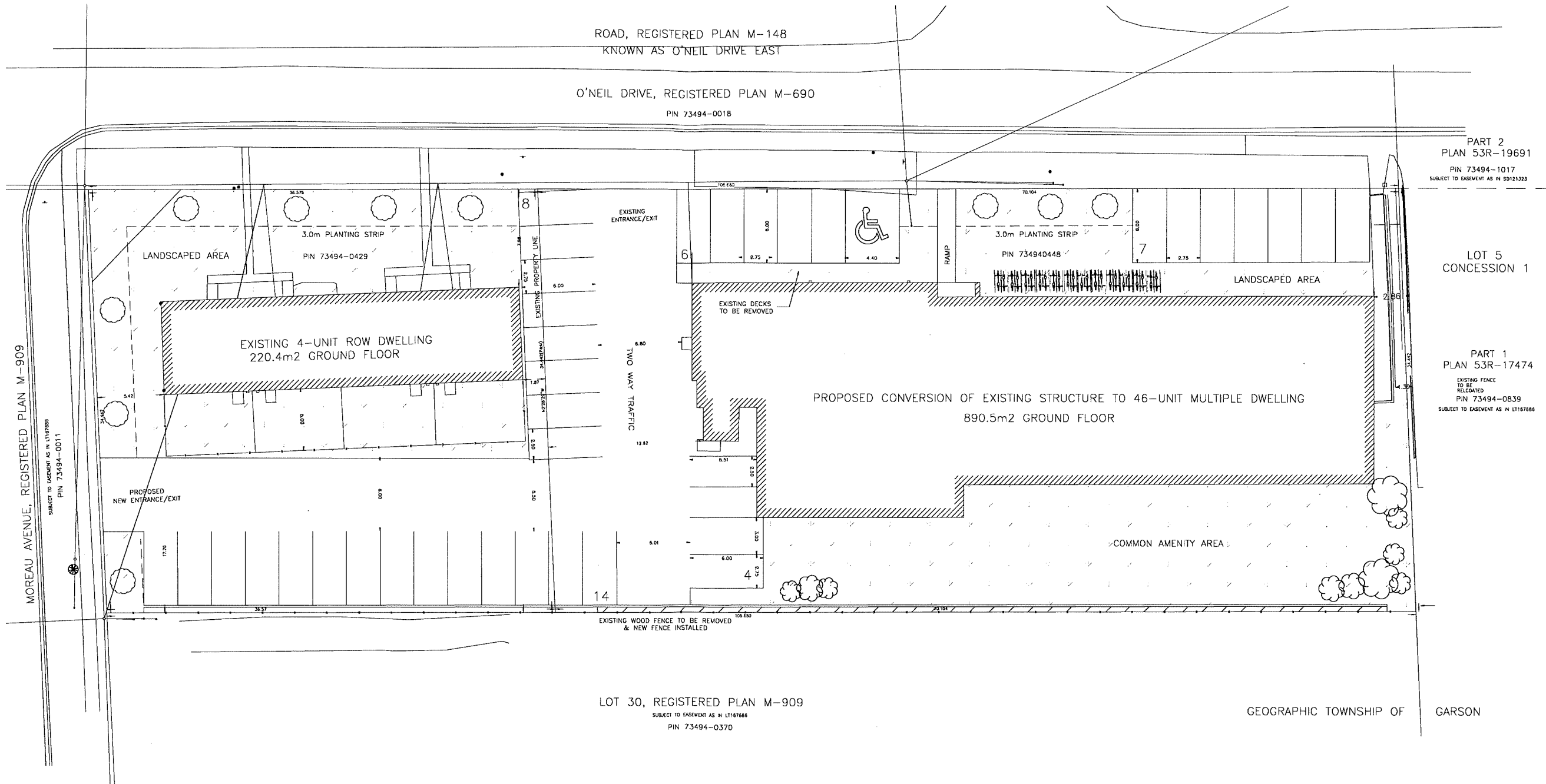


CONCEPTUAL SKETCH FOR ZONING BY-LAW AMENDMENT  
 223, 227, 232, 235 and 219 O'NEIL DRIVE  
 GEOGRAPHIC TOWNSHIP OF GARSON  
 CITY OF GREATER SUDBURY  
 DISTRICT OF SUDBURY  
 TULLOCH, 2022  
 SCALE 1:125



- NOTES:
- (1) PROPOSED OPA TO PERMIT A DENSITY OF 136.2 UNITS/HA
  - (2) PROPOSED REZONING FROM R3(23) & R3.D60 TO R3 TO PERMIT THE CONVERSION OF EXISTING 40 BED ROOMING HOUSE TO 46-UNIT MULTIPLE DWELLING AND RETENTION OF 4-UNIT ROW-DWELLING (TOTAL OF 50 UNITS)
  - (3) TOTAL LANDSCAPED OPEN SPACE: ±36%
  - (4) PIN 734940448 & 734940429 WOULD BE MERGED.



**TULLOCH**  
 TULLOCH ENGINEERING INC  
 1842 REGENT ST. T. 705 871-2295  
 UNIT 1 SUDBURY, ON F. 705 671-9477  
 PSE 200 800 810-1937

DRAWN BY: WC FILE: 21-1641

HEAD FILE: A:\2021\Projects\Zoning\UP1641 21 & 233\Draw\Gar\_Consult\CDUP-Project\Drawings\UP1641 Title Plan.dwg